

# No.4 Jubbergate | Repairs and Minor Alterations

Design, Access & Heritage Statement



*The White Rose Cafe, photographed in the late 1930s, following the site's restoration and alteration by Brierley and Rutherford, architects for Cuthbert Morrell ©York Explore*

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**Maybank Buildings Conservation**

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## DESIGN & ACCESS STATEMENT

### DESIGN

#### NON TECHNICAL SUMMARY

No.4 Jubbergate, York, is a Grade-II\* listed multi-phase building comprising several historic timber-framed structures that were comprehensively restored and altered in the early C20th. The present structure is the result of this scheme of works carried out by Brierley and Rutherford architects for Mr Cuthbert Morell from 1928. Apart from minor additions and alterations the site has not received an overhaul in nearly a century and now requires urgent structural repairs and renewal of end-of-life materials. Thus this scheme of proposed works largely comprises conservation repairs on a like-for-like basis, respecting both the historic fabric and the 1920s restoration. It is further proposed to undertake a number of minor alterations to improve thermal performance in accordance with the landlord's obligations under MEES legislation (2018). All proposals are conservation-led and have been carefully considered to preserve, and where possible enhance, the site's special architectural and historic interest, and to ensure its optimal viable use for the future. The proposed works are all required to secure the future of this significant site.

#### USE

The building is presently tenanted and in use as *Gert & Henry's* Restaurant and Cafe. It is not proposed to alter the use at this time.

#### AMOUNT

Neither the scale nor amount of development will alter the property at this time.

#### LAYOUT

No alterations are proposed to the present layout, apart from the possible slight alignment change of one wall on the second floor (proposed alteration to address structural issues). This proposed layout change would not adversely impact the readability of the floor plan or the site's special architectural interest.

#### SUMMARY

The proposals put forward in this application are required as part of urgent cyclical repairs, along with minor alterations to improve structural performance, functionality, and fire safety. The urgent works provide an opportunity for the landlord to undertake improvements to the thermal performance of this complex historic building. Together they represent a scheme of work to ensure the optimum viable use of this large and complex historic space.

As detailed in the latter sections of this report, the proposed works have been carefully considered to ensure there is minimal impact to the heritage asset. As such we respectfully ask that listed building consent is granted in this matter.

### ACCESS

Access to and from the property is not affected.

### FLOOD RISK

This project does not include any changes to the building that might impact flood risk (see appendices).



Figure 1 Front (south-western) elevation of no.4 Jubbergate. The left half dates from the late C14th, while the right portion dates from the early C17th.



Figure 2 South-eastern elevation of the site, looking onto the Shambles Market.

## HERITAGE STATEMENT

### PURPOSE

This Heritage Statement has been prepared to support a Listed Building Consent application for repairs and alterations to Gert & Henry's restaurant, a grade II\* listed at no. 4 Jubbergate, York (the "site").

### NATURE OF PROPOSAL

The proposals for which this Heritage Statement has been prepared are a scheme of repairs and minor alterations to the property, and primarily consist of like-for-like repairs. Following major restoration in the 1920s, the building has undergone minor alterations on an approx. 20 year cycle. It is now, however, nearly 100 years since a major overhaul has been carried out, and many materials are reaching their end of life. The building urgently requires significant structural repairs to secure its long term future. These include the following essential repairs:

- Timber frame repairs
- Tying and sealing of infill panels
- De-weighting of roof to C14th range
- Additional roof support
- Recovering of all roofs
- Structural rebuilding of rear support to Roof C
- Structural reconnections to principal framing
- Major structural repairs to Wall 13
- Rot repairs to windows
- Underpinning

Alongside these essential repairs, we would like to take the opportunity to undertake thermal improvements as required under the 2018 MEES legislation, which is our statutory obligation. Proposed works include:

- Roof insulation
- Secondary glazing to windows
- Insulating the ground floor floors
- Low energy lighting

As well as these works, it is necessary to undertake other works that may be deemed non essential, such as redecoration, new floor finishes, and replacement of services.

This is a significant and prominent landmark building standing alone within the Newgate / Shambles Market. The significance of the site lies in both its surviving late medieval and post-medieval timber framing, and in its Arts & Crafts inspired early C20th restoration. The conservation-led repairs and redecoration will better reveal the property's aesthetic value. The proposed alterations within this application represent a clear public benefit in helping secure the site's optimum viable use through securing its structural performance, improved functionality, reduced maintenance, improved environmental sustainability, and improved fire safety. The proposed works have been carefully considered to minimise harm, and where possible the interventions are designed to better reveal the special historical and architectural interest of the listed building.

### PROPERTY INFORMATION

Address: No. 4 Jubbergate, York, YO1 8RT

Grid Ref: SE 60412 51873.

Designation: Grade II\* (UID: 1257555 listed as 'No.2 Jubbergate' and formerly known as 'White Rose Cafe'). First listed in 1954.

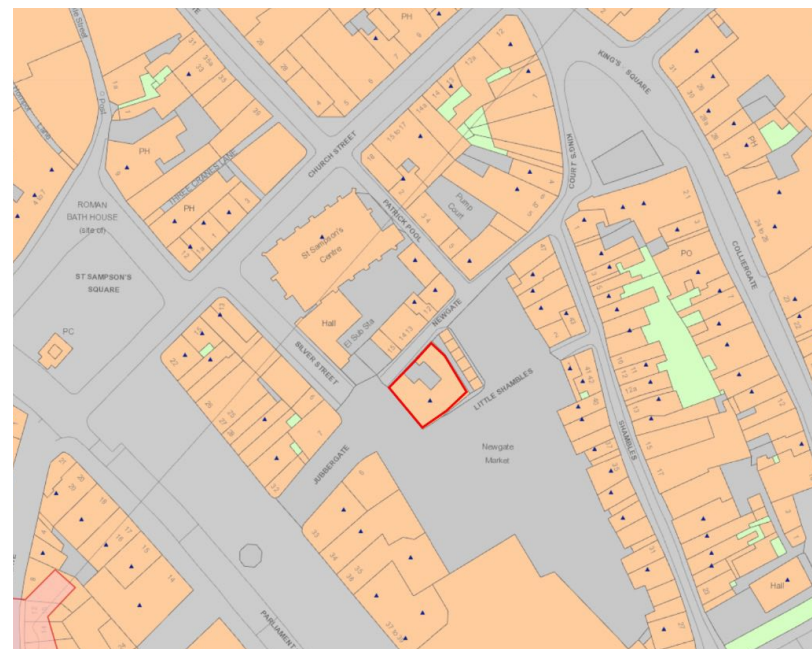


Figure 3 Designation map (site outlined in red) showing nearby listed sites (blue triangles) and Scheduled Ancient Monuments (red) © Historic England.

## SETTING

The site is located in the historic core of York, and sits within a complex historic environment. Despite significant clearance of adjacent buildings during the C20th, numerous listed buildings occupy the surrounding streets, particularly on the nearby Shambles, with the rears of many of these buildings overlooking the site. The principal designations (fig. 3) within a 50m radius of the site are:

HNLE ID	Designation	Type	Name
I259289	GII	Listed Building	St Sampsons
I256976	GII*	Listed Building	6, Patrick Pool
I257060	GII	Listed Building	11, Newgate
I257061	GII	Listed Building	12-15, Newgate
I257059	GII	Listed Building	6, Newgate
I256662	GII	Listed Building	46 and 47, Shambles
I256661	GII	Listed Building	45, Shambles
I256659	GII*	Listed Building	44, Shambles
I256658	GII	Listed Building	43, Shambles
I256657	GII*	Listed Building	41 and 42, Shambles
I257477	GII	Listed Building	1, Little Shambles
I256645	GII	Listed Building	40, Shambles
I256644	GII*	Listed Building	39, Shambles
I257008	GII	Listed Building	35 and 36, Parliament Street
I257006	GII	Listed Building	34, Parliament Street
I257004	GII	Listed Building	33, Parliament Street

## CONSERVATION AREA APPRAISAL & CURRENT USE

- The site lies within Character Area 11 (Central Shopping Area) of the *York Central Historic Core Conservation Area* (YCHCCA) (adopted 2011) (fig.4). This highlights the mercantile development of the area, with the character being largely defined by C18th and C19th civic improvements, as well as the presence of large open spaces, including the Newgate / Shambles Markets in which the site is located.
- The site lies within an *Area of Archaeological Importance*.
- The site has been owned by the York Conservation Trust since 1957 (as part of the property portfolio of one of the Trust's founders, Cuthbert Morrell). The site is presently tenanted as Gert & Henry's restaurant.



Figure 4 The Central Shopping Character Area (11) of the York Central Historic Core Conservation Area, with the site highlighted in red © CYC.

## PLANNING HISTORY

The following applications are listed for this site on York City Council's Planning Portal:

- |              |   |
|--------------|---|
| 02/00324/FUL | Change of use of part of highway for pavement cafe. (approved)            |
| 01/02170/FUL | Installation of exhaust ducting. (refused)                                |
| 01/02171/LBC | Installation of exhaust ducting. (refused)                                |
| 99/01277/ADV | Display of non-illuminated signs. (approved)                              |
| 98/02088/FUL | Change of use of ground floor from A1 retail to A3 restaurant. (approved) |

## BUILDING HISTORY

### HISTORICAL SETTING

This section presents the historical development of no. 4 Jubbergate and its historical context.

The site is located immediately outside the former south-western wall of the Roman legionary fortress and within the presumed built up area of the early Roman township (fig. 5). Jubbergate has early origins and follows the line of a road established during the early medieval period. By the time of the Conquest or earlier, the intersection with Silver Street on which the site is located had been formed (fig. 6).

Jubbergate first appears in the documentary records in c.1200 as 'Bretgate', but by 1280 it was called 'Joubrettegat' (RCHME 1981, 149) or 'Joubret-gate' (Drake 1736, 322). Various antiquarian authors (e.g Hargrove 1818, 387) note the name's derivation as denoting a street of British settlers in the Jewish quarter.

Jubbergate originally extended from Spurriergate to Newgate, and was known respectively as 'Low Jubbergate' from Spurriergate/Coney St to Peter Lane, and as 'High Jubbergate' from Peter Lane to Newgate/Silver St. High Jubbergate, alternatively called 'Upper Jubbergate', also appears to have occasionally included Newgate through to the top of the 'Great Shambles' (today, Shambles) and King's Square. This complexity of naming makes the site difficult to accurately trace through the historical record.

The area around the site was historically relatively poor and densely populated. This is highlighted by Hargrove, who wrote of Jubbergate: "The houses here are, at present, very small and humble, but on the north side of High Jubbergate, are the remains of several ancient walls, which tradition states were formerly part of a Jewish synagogue" (Hargrove 1818, 388). This synagogue appears to have been located to the south of the modern Parliament Street. The site also lies close to The Shambles, the traditional area of butchers within the medieval and post medieval city. The ancient hall of the York Butchers Guild was located nearby off Little Shambles.

In the C19th, the Corporation sold property and borrowed money to fund road widening and improvements schemes, including on Jubbergate. This was a period of significant change on Jubbergate, with the mid C19th street seeing the creation of intersecting Parliament Street, drainage schemes, road widening schemes, and the creation of markets on Silver Street, all of which dramatically impacted on the character of the area.

Newgate Market was created in 1955 (VCH 1961) following the clearance of most of the buildings surrounding the site, particularly those on Little Shambles and the south side of Newgate. This clearance of low-status housing has resulted in the comparative isolation of the site today as a landmark structure within the open space of the surrounding market.

### BUILDING HISTORY

The following presents a chronological history of no. 4 Jubbergate based on available primary and secondary sources. Today the site comprises a single multiphase building constructed in timber-framing with brick and plaster infill, as well as elements in terracotta-coloured brick. Historically the site comprised at least six separate structures, of which three survive, being a late C14th timber-framed house and an adjacent early C17th timber-framed house, both fronting onto the end of Upper Jubbergate. Another early C17th timber-framed house of similar date partially survives behind, facing Little Shambles. Additional historic buildings abutted to the rear on both Newgate and Little Shambles, now all demolished.

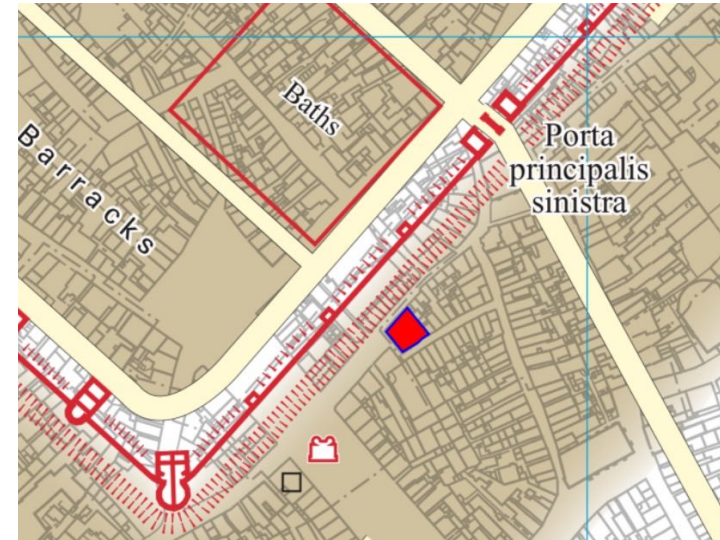


Figure 5 Detail from reconstructed c.200 AD map showing the legionary fortress, with the site highlighted in red just outside the ramparts of the fortress walls ©Addyman 2015.



Figure 6 Map showing York c.1066 showing the known roads, with the site (red) at the intersection of Jubbergate and Silver Street (©Addyman 2015).

The site was restored and heavily altered from 1928, resulting in the loss of most of the structures to the rear, and considerable rebuilding and planform alterations. In the late 1950s, the site was again altered, with a brick range added to the rear, forming the courtyard. The basic block phasing of the present site is shown in fig. 7.

The historical evidence for the site is limited due to a number of factors. Its location on the intersection of several streets with numerous names (Jubbergate, High Jubbergate, Upper Jubbergate, Newgate, Little Shambles, Silver Street) makes the site difficult to reliably identify in the early documentary record. This is compounded by the fact that the site appears to have been subdivided through much of its life, and different elements appear to have been recorded on different streets at different times. The extent of change to the streetscape, especially to Jubbergate and Little Shambles, also makes the site difficult to locate in documentary sources. Finally, the comparatively low status of the building through much of its life has limited both the documentary and pictorial evidence for the site. The present no.4 Jubbergate was known as nos. 6-9 Jubbergate in the later C19th, with rear elements being listed on both Newgate and Little Shambles. Modern street numbering is utilised throughout.

**EARLY HISTORY** :- Little is known about the early history of the site, with the earliest element (the two-storey structure to the south-west) being stylistically dated to the later C14th (RCHME 1981, 149). Constructed as a house, this timber-frame building is jettied at first floor level to both the Jubbergate and Newgate elevations. Externally, much of the original timber framing survives on the north-west and south-west elevations, while the north-eastern (rear) elevation almost entirely dates from the C20th restoration.

In the early C17th two structures were added to the south/south-east of the original building. Historic England's list description describes the C17th-work as a "crosswing extension" to the C14th range, however the RCHME confirms they were separate structures (RCHME 1981, 149). The C17th ranges are often considered as a single structure, but the RCHME notes it comprises two parts, which may not be "exactly contemporary". No records have been identified for the site during the C18th. The earliest reference to the site is a declaration of 1862, which states that the property had been owned by Dorothy Daile, spinster, until her death in 1809, after which the site passed to Joshua Oldfield the Elder (Declaration of John Robert Mills, 13/04/1862).

**C19TH HISTORY** :- By at least the early C19th the site had been subdivided in multiple occupancies, and was tenanted in mixed commercial and domestic use. Joshua Pearson, shoemaker, appears on the 1851 census as living at 11 Little Shambles, but appears in a newspaper article as being on Jubbergate (*York Herald* 09/02/1850, 6). Given the street number, it is very likely Pearson occupied part of the C17th range of the site, making him the earliest tenant directly associated with the present no. 4 Jubbergate.

The site was shown on the 1852 OS map as having been subdivided into as many as eight separate occupancies. This includes two each in the C14th and C17th structures facing onto Jubbergate, and two each facing Newgate and Little Shambles (fig. 8).

The 1852 map also depicts a narrow snickelway off Little Shambles separating the two C17th ranges at ground floor. This supports the interpretation of the C17th ranges as separate constructions. The snickelway provided access to a very small rear courtyard.

Following the death of Joshua Oldfield in December 1861, the property was offered for sale, with the advert providing a list of the tenants. The property was purchased in July 1862 by Mr Edward Clancy, a former Draper, who continued to lease the site in multiple occupancy, largely to lower-status traders, such as shoemakers, fishmongers, and chimney sweeps. By the 1880s, the C14th structure was occupied by Andrew Wells, broker (no.9 Jubbergate), and George Cook & Son, bootmaker (no.8 Jubbergate) (fig. 9).

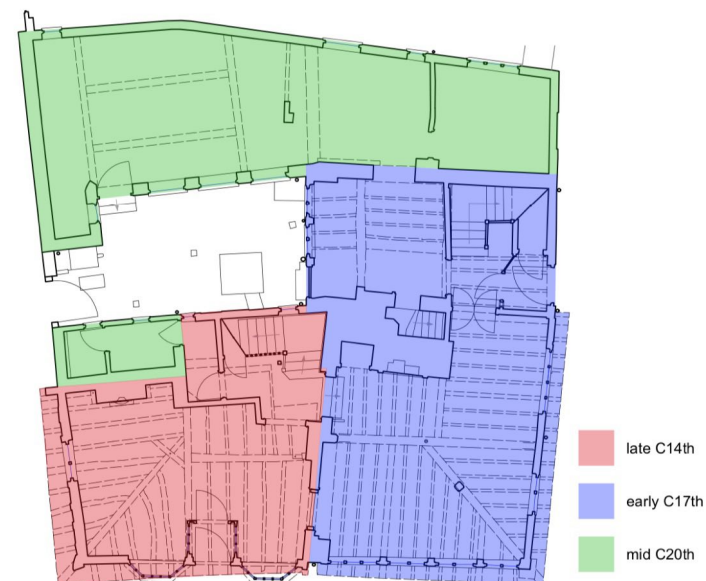


Figure 7 Block phasing of the ground floor plan.

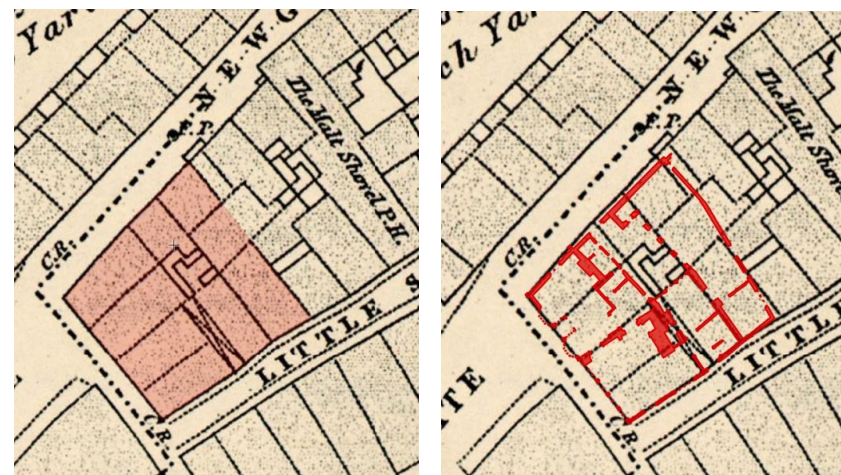


Fig. 8 The 1852 first edition OS map with (left) site footprint in red highlighting divisions, and (right) present ground floor plan overlaid © David Rumsey Historical Maps.

In February 1885, the property was again offered for auction (fig. 10), as part of the estate of the late Mr Edward Clancy (*Yorkshire Gazette* 18/03/1885, 1). A surviving sales leaflet for the 1885 sale includes the only known ground floor plan prior to the 1920s restoration, revealing the complexity of the original plan form and occupancy of the site (fig. 11). It also reveals that the front C17th range of the site had been further subdivided by this date. An accompanying table in the sales leaflet suggests a similar level of complexity in occupancy and use to the first floor. A later newspaper report records that there was a good attendance at the auction, but few bids and the property was withdrawn from the auction (*Yorkshire Gazette* 19/03/1885). There are no further advertisements and no record has been identified for a subsequent sale of the property.

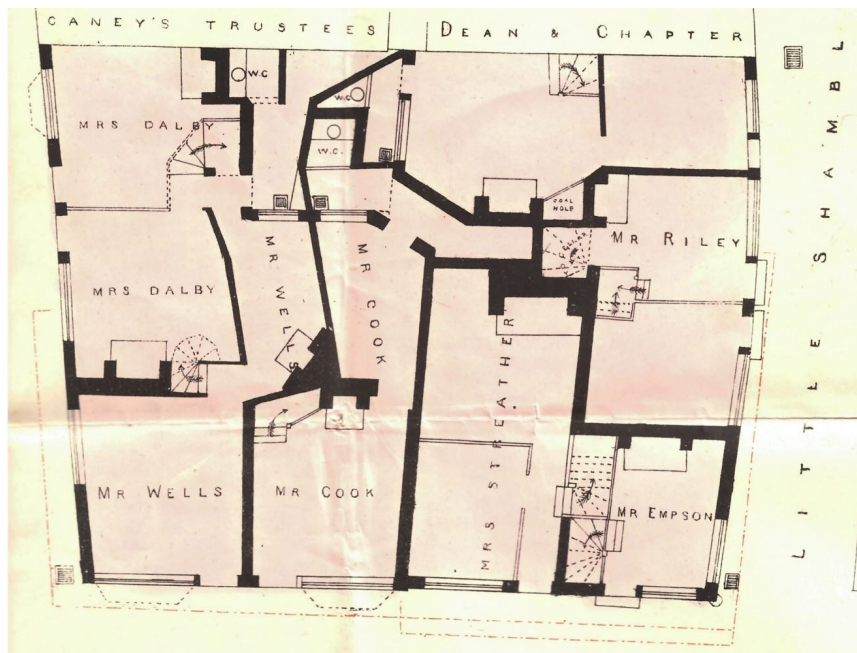


Figure 11 Ground Floor plan contained in the 1885 sales leaflet, showing the complexity of the internal plan and occupancy.

The site was sold on several occasions in the late C19th and early C20th, and trade directories also reveal considerable change in the tenants, revealing the site to have been heavily occupied by short-term, low status, tenants. In 1888 a letter to the *York Herald* (23/04/1888, 6) suggested that the York Corporation should improve access to the markets through the purchase, and presumed demolition, of several buildings, including “part of the very old property facing the end of Jubbergate”. Thankfully this proposal was not actioned.

The 1891 OS map suggests that the adjacent building to the east on Little Shambles now formed part of the site. A photo from the 1890s looking eastwards down Little Shambles shows the side of the site (fig. 12). Visible on the image are a shuttered window and doorway near the centre of the front C17th-range. The latter was likely inserted following its subdivision. The pre-1920s brick infill is also visible near the wall base, showing that it was regularly coursed brick rather than the decorative coursing present today.



Figure 9 An 1880s photograph of the C14th range viewed from Jubbergate. The shopfronts and signage for A Wells and C Cook & Sons are clearly visible ©York Explore

JUBBERGATE, NEWGATE, AND LITTLE SHAMBLES,  
YORK.  
THE ESTATE OF EDWARD CLANCY, DECEASED.  
VALUABLE FREEHOLD PROPERTY.  
**T**O BE SOLD BY AUCTION, by MR.  
EDWARD WILKINSON, at the WHITE SWAN HOTEL,  
Goodramgate, York, on WEDNESDAY, the 18th day of  
MARCH, 1885, at Three for Four o'clock in the Afternoon,  
subject to Conditions of Sale to be then and there produced,  
in one Lot. —  
All that SHOP, situate and having a frontage to Jubber-  
gate, and now in the occupation of Mr Wells; also  
All that SHOP, situate and having a frontage to Jubber-  
gate, and now in the occupation of Mr Cook; also  
All that SHOP, situate in Jubbergate, and now in the occu-  
pation of Mr Streater; also  
All that SHOP, situate in Jubbergate, in the occupation  
of Mr Empson; also  
All those THREE DWELLING-HOUSES, situate in  
Little Shambles, in the occupation of Mr Riley and others;  
and also  
All those TWO DWELLING-HOUSES and SHOPS,  
situate in Newgate, and now in the occupation of Mr Dalby.  
The whole of the above Property is Freehold, and faces  
Parliament Street, in the centre of the City of York. The  
sites of the above contain 180 square yards, more or less.  
The full Rental of the Property is £34 14s. 4d.  
For Plans and Particulars apply to Mr WILLIAM CLAPHAM  
MILBURN, Goodramgate, York, Tailor; Messrs W. M. LEWIS  
and SON, Architects and Surveyors, 46, Stonegate, York; to  
the AUCTIONEER, Feasegate, York; or at the Offices of  
Messrs ANDERSON & LYTHER,  
2401 Solicitors, 41, Stonegate, York.

Figure 10 Advertisement for the auction of the property in May 1885 (*Yorkshire Gazette* 18/03/1885, 1).

Interestingly, a newspaper article from 1895 mentions “The [Sanitary] committee inspected premises situate in Newgate, Jubbergate, and Little Shambles, and being of the opinion that the same were unfit for human habitation, instructed the Inspector of Nuisances to issue orders for the closure of the same” (*York Herald* 07/12/1895, 14). An earlier article refers to “the Jubbergate and Little Shambles property” (*Yorkshire Gazette* 07/12/1895, 6), suggesting this is in reference to the site, however there is no evidence the property was closed at this time. This may be clarified by another article, which suggests there were differing opinions as to the course of action, with one committee member suggesting that instead of closure, the building owner “be requested to put the property in habitable repair” (*York Herald* 03/12/1895, 6). There is no evidence that any changes were made at the property around this time.

In the early C20th the C14th-range was occupied by a newsagent on the right, and was either empty or selling fish to the left, based on an advertisement in the window (fig. 13A). Based on the electoral register by 1910, the left unit of the C14th-structure was occupied by Harry Hartley Muir, perambulator maker. Muir’s shop appears in a photo of the period (fig. 13B). It appears that Harry Muir remained at the site throughout the 1920s, as the building was sometimes referred to as “Muir’s House” in documents of 1928 (BIA 8/87).



Figure 13 - Left (13A) Early C20th photograph (possibly 1910) showing the newsagents occupying the right half of the C14th range. The C17th range appears in poor condition © York Explore; Right (13B) Photograph from the 1910s, with the advertisement for Muir’s visible. The property appears to have been fairly recently redecorated © York Explore

A 1925 indenture provides a fascinating insight into the use of the site at the time (fig. 14). Not only does this confirm the occupants, but also shows how both the ground and first floor spaces were utilised. This reveals that Harry Muir and family were living upstairs in the C14th range, while part of the C17th front range was used as a warehouse at first floor level.

**C20TH RESTORATION** :- In 1927 the property was purchased by Cuthbert Morrell, who commissioned the architectural practice of Brierley and Rutherford to restore the property, with drawings prepared in October 1927 (BIA 2/21). Walter Brierley had died the previous year and the drawings are not signed, so the specific architect(s) associated with the restoration is not known but is presumed to have been James Hervey Rutherford. The drawings reveal initial plans to keep the C14th & C17th ranges as separate properties, with the former proposed as offices, and the latter as a shop with showrooms above.



Figure 12 1890s photograph looking east down Little Shambles, with the site visible in the left foreground. A sign for a chimney sweeper & cleaners (presumably William Riley’s) is visible on the brick building beyond, which is also part of the site © York Explore

*— The schedule above referred to —*

<i>Address</i>	<i>Description</i>	<i>Tenant's name.</i>
<i>Newgate No 1.</i>	<i>dwellingshouse.</i>	<i>M<sup>rs</sup> Bumbry</i>
<i>do No 2</i>	<i>lock up shop</i>	<i>M<sup>r</sup> Poole</i>
<i>Subbergate No 8</i>	<i>Warehouse</i>	<i>M<sup>r</sup> Bell</i>
<i>do No 9</i>	<i>lock up shop</i>	<i>Yorkshire Evening News</i>
	<i>warehouse over</i>	<i>M<sup>r</sup> Webster</i>
<i>do No 10</i>	<i>lock up shop &amp; warehouse</i>	<i>M<sup>r</sup> Muir</i>
<i>do No 11</i>	<i>shops and dwellingshouse</i>	<i>M<sup>r</sup> Muir</i>
<i>Little Shambles No 12</i>	<i>warehouse</i>	<i>M<sup>r</sup> Muir Junior</i>
<i>do No 13</i>	<i>do</i>	<i>do</i>
<i>do No 14</i>	<i>dwellingshouse.</i>	<i>M<sup>rs</sup> Morgan</i>

Figure 14 1925 schedule of occupation, including first floor usage.

By 1928 the proposals had been altered to restore the site as a cafe and shop, with a Mr Beaufort referenced as the cafe manager by October 1928. Work commenced that year, by principal contractors William Birch Ltd. and Thorpe Allen of Castlegate. The restoration by Brierley & Rutherford resulted in significant alteration to the property, both in its external appearance and particularly to its internal plan form. A comparison of the 1885 plan with the current layout, demonstrates the extent of change (fig. 15).



Figure 15 Modern ground floor plan (pink) overlaid on 1885 plan demonstrating the end of alteration to the internal layout, including the removal of walls, fireplaces, and staircases, as well as removal and creation of openings across the site.

The works included the total demolition of the two properties on Newgate abutting the rear of the C14th-range (shown as being occupied by Mrs Dalby in 1885), along with all the courtyard accretions behind. These lost structures can be seen in a late C19th painting (fig. 16A), which shows that the structure immediately behind the C14th-range was also likely timber framed. In their place a new open courtyard was created (fig. 16B). This courtyard was surrounded by a low brick wall, which survives, although heightened today.

Externally, the render was removed and the timber framing was exposed, restored and reinstated. Replacement timbers were coach bolted into the frame rather than using traditional joinery. All of the historic windows and doors were changed, and the historic infill panels were all replaced, with new decorative herringbone and basket weave brickwork utilised at ground floor (fig. 17).



Figure 16 Left (16A) Detail from late C19th painting by Thomas Guy in which a jettied timber framed building can be seen on Newgate behind the C14th range; Right (16B) Detail from a 1933 photograph showing new courtyard, with the roof scar of the now lost range on the site of the present kitchens © York Explore



Figure 17 The site shortly after its restoration by Brierley and Rutherford architects for Cuthbert Morrell. Note the creation of a yard on Newgate (left), and in the foreground, the C18th ranges on the south side of Jubbergate have not yet been cleared © York Explore

Despite detailed initial plans, the restoration was clearly an additive process, with various changes and additions proposed and completed between 1928 and 1934. These include exterior “pointing up” following complaints that the “wind comes in now with terrific force” (1931); repairs to fireplaces (1932); addition of coal chute and soot door on Little Shambles (1933); addition of heating (1933); and decoration of radiators and pipes in the “cafe - smoke room, sitting room, and shop” (1934). An estimate survives from 1933 for a range of works including the creation of a staircase to the basement and addition of a 2nd floor kitchen (BIA 8/154/1).

The incremental development of the site is highlighted by a photograph of c.1933 looking down Little Shambles, which shows the side of the fully restored timber framed C17th range (fig. 18). Abutting this to the east is a brick three-storeyed building, which is likely a C18th refacing of the rear C17th timber-framed range. This range differs from the Brierley and Rutherford brick gable facade on the building today, indicating that this part of the restoration had not yet been commenced. A letter dated 29/10/1930 from the City Engineer to the architects, notes that the Corporation of York had recently purchased nos. 8-9 Little Shambles “and as soon as ever possession can be obtained, I propose to take down both the shoring and the dangerous part of the building (BIA 8/87). This may indicate the works to the south-eastern area of the site on Little Shambles were delayed due to the abutting buildings.

The 1928-34 restoration of the site by Brierley and Rutherford retained much of the original timber framing externally from both the late C14th range and front C17th range, although there was considerable timber replacement in areas. Regrettably, the C14th roof was completely replaced. In the rear C17th range on Little Shambles, some internal floors were removed to create the present stair tower, as well as the external re-facing of the front and side elevations. Internally, walls were removed and new internal openings were created in the restored buildings to join the separate structures into a single building.

In March 1931 it was proposed to add domestic accommodation onto the site, however, the Council pointed out that permission had only just been granted for the addition of the “mixing room and larder” on the basis that the premises were not used as a dwellinghouse. It appears the earlier proposed additions were withdrawn in favour of the domestic use, as subsequent documents refer to works to the first floor ‘bedrooms’ above the shop. The 1931 permission was granted for “proposed additions to the ‘White Rose Cafe’, Jubbergate”; the first mention of the cafe’s name. The site was to remain as the White Rose for much of the C20th.

Presumably around 1934, the Little Shambles properties were removed and the works completed to the main site. In July 1944 Cuthbert Morrell purchased two plots of land on Little Shambles adjacent to the White Rose cafe, on which was constructed the single storey pitched roof structure that today forms part of the kitchen. By 1955 all of the buildings at the rear of the site on both Newgate and Little Shambles had been demolished, creating the markets (fig. 19). The property was purchased by the York Conservation Trust in 1957, and in c.1960 a new kitchen range was added to the east of the site, utilising and heightening the late 1920s courtyard wall and abutting the c.1944 double-pitched building.

The last known major alteration to the site was the extension of the W/C on the rear of the C14th range, which was granted permission on 10 May 1996 (York County Borough Council decision A/4198). The *White Rose* was sold in January 1981, at which point it became *Grandma Batty’s Yorkshire Pudding Emporium*. After several food service tenants, the site is today operated by the present tenants as *Gert & Henry’s Restaurant*.

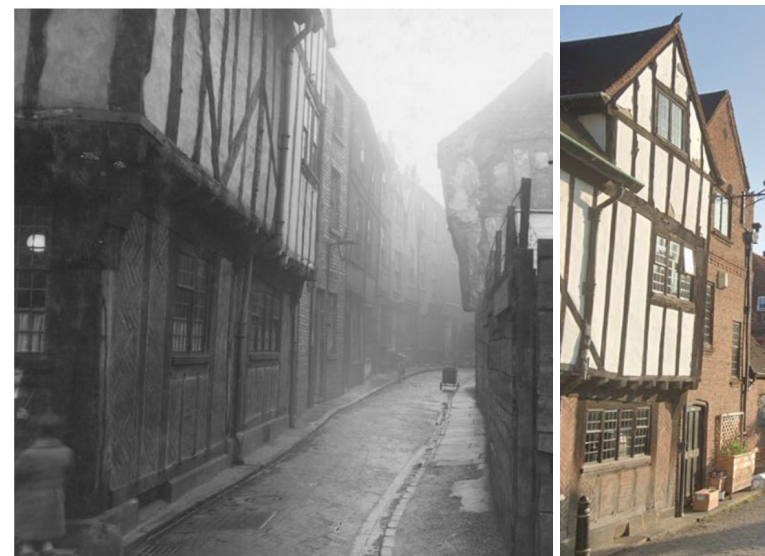


Fig. 18 Photograph of c.1933 looking eastwards down the Little Shambles side of the site, with the restored timber framed C17th range in the foreground. An earlier three-storeyed brick building abuts the timbered range © York Explore. A modern image to the right shows the present brick gabled elevation.



Figure 19 c.1955 photograph looking across the cleared properties towards Newgate. The single storeyed 1930s ranges are visible to left, with the courtyard wall visible in the centre of the image © York Explore

### Cuthbert Morrell, Brierley & Rutherford, and the Arts & Crafts Movement

In the late 1920s Cuthbert Morrell started purchasing and restoring historic timber-framed buildings in York. This decision may well have been influenced by the 1927 restoration of Herbert House, Pavement, by Arts & Crafts architect FWB Yorke, which was one of the earliest vernacular timber frame restorations in the city.

Mr Morrell commissioned the renowned Arts & Crafts architectural firm of Brierley & Rutherford to restore these buildings, starting with no.4 Jubbergate in 1928. This was soon followed by restorations at no.45 Goodramgate (1929), and nos.49-51 Goodramgate (1930-31). All three restorations were carried out to a high specification, with the works undertaken by William Birch Ltd (contractors).

A key element of all of these restorations was the removal of later alterations, especially external render and sash windows, returning these vernacular buildings to their perceived medieval or post-medieval form. Like FWB Yorke, Brierley and Atkinson approached these restorations through the lens of the Arts & Crafts movement, often with an eye for the aesthetic over 'physical' authenticity. For example, their restoration approach utilised coach bolts to connect timber frame components rather than employing traditional carpentry joints.

The three restored sites are quite different, but represent some of the largest and most impressive assemblages of vernacular timber framing to survive in York. The Jubbergate property is an amalgamation of medieval and post medieval structures, while no.45 Goodramgate is a linear late C15th range with impressive decorative bracing (originally 5 bays wide), and no.51 Goodramgate includes a rare northern example of a wealden hall. Despite these differences, today these three vernacular buildings speak to each other through their Arts & Crafts detailing.

Recognisable features in all three buildings include the use of handmade plain tile roofing, leadlight glazing in timber windows with metal opening lights, rustic infill panels (often later painted white), timber trough guttering, and decorative leadwork.

Today these three buildings form an important collection of historic vernacular timber framing in York. They also represent an important collection of Arts & Craft influenced restorations resulting from the close partnership between Mr Cuthbert Morrell, Brierley and Rutherford, and William Birch Ltd. This collaboration and many of the key design elements were developed and tested at no.4 Jubbergate before being adapted or reused on the later projects. Brierley and Rutherford were also engaged in the restoration of the Merchant Adventurers' Hall in York during this period, and there are discernable parallels in approach and decorative elements of the restoration work at this Grade I building.



Figure 20 (left) newly restored no.45 Goodramgate with nos.49-51 seen in the distance; (right) a newspaper article from 1930 noting that a "fine example of medieval domestic architecture ... has been preserved for the city by Mr Cuthbert Morrell, who has restored this building [no.45 Goodramgate] to its former state" (Leeds Mercury 25/02/1930).

PHASED FLOOR PLANS



Figure 21 Phased Ground Floor Plan based on fabric analysis and documentary evidence. Block phasing shown paler; with specific identified historic fabric shown darker (not comprehensive).

## CONSERVATION PRINCIPLES

### WORK AND PHILOSOPHY OF YORK CONSERVATION TRUST

In 1945 Dr John Bowes Morrell and his brother Cuthbert formed Ings Property Company Ltd for the purposes of restoring and rehabilitating historic properties in York. Following their deaths this continued under the guidance of John Bowes Morrell's son, William, until 1976 when these properties were bequeathed to charity and the company became York Conservation Trust. The trust now owns and maintains over eighty properties, notably including York Theatre Royal, Fairfax House, The Assembly Rooms, The De Grey Rooms and St. Anthony's Hall. Most are listed buildings or hold high heritage value.

York Conservation Trust leases properties to commercial and residential tenants and uses the income earned for maintenance and repair; any surplus funds are used to purchase further historic properties in York. The Trust has a policy to guide purchasing decisions, but this is not restrictive other than the property must be located in North Yorkshire (YO postcode), it must be a recognised heritage asset, (preferably listed) and it must be in need of investment; those in particular need and in a poor state of repair are prioritised.

To sustain historic buildings and manage the burden of conservation deficit without external grants, it is important the portfolio of properties works commercially. When investing in properties York Conservation Trust is careful to ensure that restoration and conservation objectives are balanced with the need to put all parts of the property into best possible use; both from the point of view of benefit to potential tenants and to enhance the life, community and vibrancy of the City of York.

Within York and other historic cities in the UK there has been a tendency to focus only on the commercially viable parts of historic buildings, often ground floors are occupied and the upper floors, where access is difficult, are neglected. This affects the vitality of the City and contributes to the rising number of properties 'at risk'. York Conservation Trust is actively working with other interested parties to ensure this trend does not continue in York.

### APPROACH TO CONSERVATION MANAGEMENT

The following points outline York Conservation Trust's objectives for the management and conservation of its properties.

Good Management and Regular Maintenance – Good maintenance prevents the need for repair

- » Undertake to keep an accurate and up-to date record of each building including details of repairs and maintenance work that has been undertaken.
- » Undertake regular building inspections, tailored to a level of detail befitting the building's status and complexity. The trust is currently engaged in the inaugural programme of Quinquennial Inspections of all buildings within the portfolio.



*MAINTENANCE* Example of valley gutter cleaning at York Theatre Royal, this needs to be undertaken on a 3-month cycle.



*REPAIRS* Example of plasterwork repairs to the North Anteroom cornice and ceiling in the Assembly Rooms. Damage has been raked out ready to hand run new lime hair plaster.

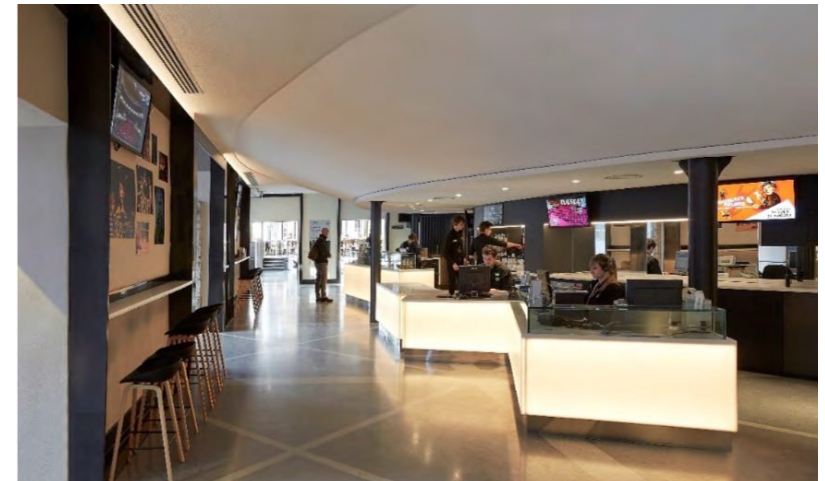
- » Undertake a rolling programme of maintenance for key parts of the fabric:
  - + Windows, doors and external timberwork is repaired and redecorated on a rolling 5-year programme.
  - + Roofs are inspected annually, and gutters are cleaned no less than every six months.
  - + Shared areas of buildings are cleaned and kept clear.
  - + Windows are cleaned monthly.
  - + Yards, gardens and external areas are maintained and kept clean, all external drains are kept free of debris.
  - + When purchasing historic properties, the exterior and internal building fabric should be recorded, and an assessment of significance must be undertaken.
- » Before redecorating a property, the existing colour scheme will be assessed for authenticity and its contribution to the aesthetic appeal of the building and its setting. Where it is found to be lacking it should be altered, a sympathetic pallet of historically authentic colours should be used. For buildings of the highest significance (grade I), paint analysis should be undertaken to reveal historic schemes and this information should be used to inform the decision-making process.

### REPAIRING DEFECTS - IS PREFERRED TO RESTORATION

- » When a defect is identified, efforts to remedy the problem will be taken as soon as possible. Early intervention reduces the direct impact of defects on the property and any potential associated further deterioration.
- » Repairs will be limited to the minimum level required to resolve a defect or allow the repaired element to function as required – it is not considered to be good conservation practice to replace something when a repair is achievable; replacement should be the action of last resort
- » Efforts must be taken to identify defects at an early stage in deterioration, fabric should not be left to decay unnecessarily.
- » Repairs will not be carried out without fully researching and understanding the cause of the defect. Where possible the source of the defect should be identified and repaired at the same time.
- » When undertaking a repair to historic fabric the materials used should exactly match the original. Substitute materials should only be used where enhanced understanding and research suggests it is more appropriate to do so and its use can be justified on heritage grounds.
- » Use of local skilled craftsmen is preferred to employment of firms outside of North Yorkshire. It is important the skillset is retained and developed in the region.



*RESTORATION Archway restored to ground floor of 14 Lendal. New timberwork made to exactly replicate the original fabric by tracing their outline in the original paintwork*



*INTERVENTION New foyer at York Theatre Royal, formed entirely from space reclaimed by relocating the stalls seating.*

## **RESTORATION - IS ACCEPTABLE AS AN ALTERNATIVE TO NEW INTERVENTION – SUBJECT TO DETAILED RESEARCH**

- » Missing parts of building fabric can be reinstated, subject to detailed proof that what is being replaced authentically replicates original fabric. It is not acceptable to replace fabric based on assumptions, this would lower the evidential and historic significance of the property and may lead to confusion.
- » Areas of fabric that are to be restored should be fully researched, materials should be scientifically analysed, and they should be replaced to exactly match historic details; where practical to do so.
- » Restoration should be authentic in terms of quality of materials and workmanship. However, whilst a restored element may be a facsimile of an original detail it will not have a naturally aged appearance from patina or years of use. Such effects should not be artificially applied, it is right that it should look newer and be distinguishable as a later piece of work.
- » Restoration work must not be undertaken if it will limit the extent to which a building can fulfil its function. Historic buildings are not museum pieces, they can't be preserved only for historic interest or aesthetic benefit. To have a meaningful role in society they must fulfil functions and be used.
- » Prior to undertaking a restoration, a building should be fully recorded, and heritage significance assessed to enable the impact of proposed work to be properly evaluated.

## **INTERVENTION – NEW CONSTRUCTION & ALTERATION**

- » Intervention should be readable and distinct from original fabric.
- » Interventions must enhance or improve the building and be of benefit to its use.
- » Alterations must balance the need for change against the significance of the historic asset – where possible, evidential significance must be preserved, and aesthetic qualities preserved and enhanced.
- » Alterations, where required solely for improvement of functionality, must be fully justified. The public benefit borne from change must outweigh potential harm caused by the development.
- » Alterations that harm historical features of high or very high value should be avoided, all alternatives should be explored, and the proposed work must be fully justified.
- » All interventions must be of a high standard of design – new additions must be sensitive and should complement their surroundings; this is not to say they must use the same design style, form or materials as the original. Interventions are most successful when it is clear they are not part of the original building.

## ASSESSMENT OF SIGNIFICANCE

### SUMMARY

#### ARCHAEOLOGICAL INTEREST **VERY HIGH**

*Archaeological Interest* is defined within the National Planning Policy Framework (NPPF) thus: “There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.” (NPPF 2021).







The below-ground archaeological potential of the site has not been assessed in detail within this Heritage Statement. Located within the centre of historic York, the site lies within an Area of Archaeological Importance. A review of the HER shows that extensive archaeological features from the Roman period onwards have been identified in the vicinity, which are of national and international importance. The only below-ground works proposed relate to potential underpinning. Any below-ground works will require a WSI and archaeological watching brief.

#### HISTORIC AND ARCHITECTURAL INTEREST **HIGH**

The historic and architectural interest of the site is presented on the next page and has been assessed using the values outlined in English Heritage’s (2008) *Conservation Principles*, being :- This section provides an assessment of the significance of the site using values outlined in English Heritage’s (2008) *Conservation Principles*, being :-

<b>Evidential Value</b>	Potential for a feature, space or building to yield evidence about past human use and activity.
<b>Historical Value</b>	Connectivity between a feature, space or building with past people, events and aspects of life, from past to present.
<b>Aesthetic Value</b>	Ability for a feature, space or building to provide sensory and intellectual stimulation.
<b>Communal Value</b>	Ability for a feature, space or building to provide meaning, a place that people relate to, or for whom it figures in their collective experience or memory.

The significance of each value is rated: Very High, High, Medium, Low, Neutral, and Intrusive. The definitions of these ratings are provided below.

<b>VERY HIGH</b>		A feature, space or building that has exceptional cultural value of regional or national importance and is inextricably linked to the historic value of the site, its understanding and unique architectural character and appearance. Large scale change should be a measure of last resort.
<b>HIGH</b>		A feature, space or building that has high cultural value and forms an essential part of the historic value of the site and its understanding. It greatly contributes towards its unique architectural character and appearance. Large scale alteration, removal or demolition should be strongly resisted.
<b>MEDIUM</b>		A feature, space or building that has some cultural importance that aids to define the character, understanding and appearance of the site. Efforts should be made to retain features of this level if possible. A low degree of flexibility exists only suitably justified alteration is possible.
<b>LOW</b>		A feature, space or building that has minor cultural importance but contributes to the character or appearance of the site. A greater degree of change is possible, but this value does not necessarily mean a feature is expendable.
<b>NEUTRAL / NEGLIGIBLE</b>		A feature, space or building that has little or no cultural value and neither contributes to nor detracts from the character or appearance of the site. Considerable alteration or change is likely to be possible.
<b>INTRUSIVE</b>		A feature, space or building that is harmful and detracts from the values of the site and its special character and appearance. Removal will enhance the significance of the heritage asset.

SITE No.4 Jubbergate, York (Grade II* listed historic building)	
Heritage Value EVIDENTIAL <b>MEDIUM</b> - <b>HIGH</b>	<p>&gt; The site exhibits medium-to-high evidential value as a collection of late medieval and post medieval timber-framed vernacular buildings. The site's evidential value was significantly reduced through the large-scale alterations to the site between 1928 -1934, which resulted in the removal of most of the interiors walls, stairs, and internal features, as well as significant external timber replacement. As well as the loss of the historic floor plan and access patterns, major historical elements such as the roof timbers were largely removed or replaced. The comprehensive restoration of the site in 1928-34 removed much of the evidence for the low status use and later adaptation of the site through the C18th and C19th.</p> <p>&gt; The site has evidential value as an early example of vernacular timber-framed conservation in York, carried out by a nationally significant architectural firm, Brierley and Rutherford (this project commenced only a year after Walter Brierley's death in 1926).</p> <p>&gt; The site has group evidential value of one of the few surviving historic buildings in the area of the present Newgate / Shambles market. Together with the adjacent C14th row on Newgate, the site forms a surviving fragment of medieval York cut off from the historic streetscape of The Shambles following the slum clearances following Post WW2.</p>
Heritage Value HISTORICAL <b>MEDIUM</b> - <b>HIGH</b>	<p>&gt; The purchase and restoration of the site was an early example of the Morrell family's desire to rescue York's vernacular timber-framed buildings. The site demonstrates medium-to-high associative historical value through this, representing one of templates for the purchase and restoration of such buildings that form the core of the York Conservation Trust's estate. The restoration of no.4 Jubbergate appears to have provided the template for Cuthbert Morrell's (together with Brierley &amp; Rutherford and William Birch Ltd) approach to subsequent timber-framed restorations at no.43 Goodramgate (1929) and nos. 49-51 Goodramgate (1930-31). Together with these properties, the site forms part of an important collection of Arts &amp; Crafts influenced vernacular timber-framed restorations.</p> <p>&gt; The site has historical value as a survivor of the dense medieval and post medieval lower-status timber framing that filled many of the narrow streets in York's historic core. This area of York has fundamentally changed since the early C19th, with the creation of Parliament St and Piccadilly, late C19th street widening and improvements schemes, and the C20th clearances to form the markets.</p>
Heritage Value AESTHETIC <b>HIGH</b>	<p>&gt; No.4 Jubbergate exhibits high aesthetic value as a series of historic timber-framed structures, complemented by high quality Arts and Crafts elements by Brierley and Rutherford. This detailing was externally carried through in the later C20th additions and alterations, collectively presenting a cohesive and highly aesthetically pleasing structure. Deteriorating condition of the fabric and modern functional additions detract from the aesthetic value, particularly in the courtyard area.</p> <p>&gt; This site also demonstrates high aesthetic group value when considered with the near contemporary (mid C14th) timber-framed row opposite on Newgate.</p>
Heritage Value COMMUNAL <b>LOW</b>	<p>&gt; No.4 Jubbergate has some limited communal value as a large cafe and restaurant that has served York's residents and visitors for nearly a century. Its present comparatively isolated position within the Newgate/Shambles Markets makes it a landmark building within the historic heart of York.</p>
Heritage OVERALL <b>HIGH</b>	<p>&gt; No.4 Jubbergate demonstrates high aesthetic value, and medium to high evidential and historical value, as a collection of small medieval and post-medieval vernacular timber-framed buildings. Much of their original evidential value was lost during the C20th restoration of the site; however that restoration itself has evidential and historical value in its own right.</p> <p>&gt; The site therefore demonstrates medium to high special architectural and historic interest as a collection of vernacular timber frames that represent a significant Arts &amp; Crafts influenced restoration (marking the start of an important collaboration between Cuthbert Morrell, Brierley and Rutherford, and William Birch Ltd).</p> <p>&gt; As such the site is of national significance.</p>

## PROPOSALS

### BUILDING CONSTRUCTION

No.4 Jubbergate is an amalgamation of several historic structures, comprising three timber-framed buildings, one of which is largely externally encased in brick. Much of the timberwork and all of the infill panels date from the 1928 restoration or later. This restoration also included large solid brick walls (largely replicating historic re-facing) as well as solid brick extensions dating from 1944 and c.1960. The main pitched roofs are covered with C20th terracotta clay tiles, and the flat kitchen roof is felt and bitumen. Rainwater goods are all C20th and are a mix of cast iron and lead.

### PROPOSED REPAIRS AND ALTERATIONS

The following provides a summary of the proposed works, which principally relate to sensitive conservation repairs and minor upgrades. Please also refer to drawing series 3251.

1.0 EXTERNAL WORKS	
1.01	<b>Brick Anchors (Wall 2)</b>
	Provide lateral restraints (brick anchors) to the right edge of the wall where it adjoins wall 23 (along building break (see fig.22)). Repoint affected area in lime mortar to match existing (test sample to be provided for approval).
1.02	<b>Timber Frame Repairs (Walls 3 - 13)</b>
	Provide face or scarf repairs (where possible) or replace rotten timbers with air-dried oak (to match existing) on a like-for-like basis (all timbers to match existing dimensions). Identified repairs (see drawings 3251-008B to 009B) include: <ul style="list-style-type: none"> <li>• Wall 5 bressumer beneath the jetty to the left half of the wall, and minor cracking to the ends of the dragon tie;</li> <li>• Timber repairs to the left corner post and to horizontal rails and studs around windows 25, 26 and 27;</li> <li>• Wall 9 oak timber repairs required to top of wall;</li> <li>• Wall 7 two vertical sections of left-hand corner post need to be tied together above jetty;</li> <li>• Bad beetle infestation to Wall 10 sole plate and the bottom of both corner posts and studs;</li> <li>• Wall 12 very bad beetle infestation to sole plate and bottoms of studs and posts.</li> </ul>
1.03	<b>Infill Panel Replacement (Walls 3 - 13)</b>
	Where necessary for frame repairs, infill panels may need to be removed. Affected panels to be rebuilt using existing infill (brick?) and new external lime render. Once repaired, all gaps between infill panels and timber frame to be caulked with oakum. Add stainless steel screws where necessary to fix loose infill panels into the timber frame and make good.



Figure 22 Building break to corner of Wall 2 (red ellipse) requiring brick anchors.



Figure 23 Detail of poor quality repairs and ongoing waterlogging damage to Wall 13 caused by the wall's 5 degree lean. Note also the blocked D3 and quantity of pipework across this wall (see I.13).

<b>1.04</b>	<b>Wall 13 Repairs and Alterations</b>
	Wall 13 requires significant timber replacement (most timbers date from the 1920s restoration). The wall leans back by ~5 degrees from vertical which has allowed the lower portion of the wall to become saturated (see fig. 23). All infill panel render to be replaced with lime render and redecorated following timber repairs/replacement. There are three lead lined roof-lets extending beyond the face of the wall which have been added at first & second floor and gable collar level to reduce water saturating the base of the wall. These have failed due to a lack of water capture. Gable collar projection to be replaced on a like-for-like basis. Propose three larger lead-covered roof extensions to be provided above ground, first and second floor window levels projecting ~400mm out from the wall with each provided with a small section cast-iron gutter to control water run-off. The lead-dressed timber roof-lets to be supported on black-finished custom stainless steel brackets (see drawing 3251-015).
<b>1.05</b>	<b>Kitchen Wall Waterproofing (Walls 14 - 19)</b>
	Take brickwork down to the top of the walls to provide a new DPM set above window opening level (see fig. 24) and rebuild wall tops using existing (where possible) or reclaimed / handmade bricks to match existing (sample to be provided for approval).
<b>1.06</b>	<b>Kitchen Wall Heightening (Walls 14-19)</b>
	Heighten existing c.1960 kitchen parapet walls by ~450mm, with matching reclaimed or new handmade bricks, reinstating existing decorative corbelling to parapet top. Provide new code 6 lead flashing upstand to rear of parapet. Replace ~250 damaged bricks to wall 18 with reclaimed or new bricks to match existing. Fully repoint walls 14-19 in lime mortar, sample to be approved.
<b>1.07</b>	<b>Stitch Repair Brickwork (Walls 20-21)</b>
	Stitch repair existing cracks in walls with stainless steel helical bars and repoint with lime mortar to match existing.
<b>1.08</b>	<b>Repair Rear Yard Gate (Wall 17)</b>
	Repair existing C20th timber gate and posts to rear yard from Newgate with matching timbers.
<b>1.09</b>	<b>External Engineering Work (Walls 15, 16 &amp; 18)</b>
	Remedial works required to address long-term ongoing movement to kitchen external walls. The structural engineer will provide details on underpinning works.
<b>1.10</b>	<b>Jetty Strengthening</b>
	Jetty strengthening is required (see fig. 25). Provide partner joists to stiffen jetties along Walls 3-7. Engineering input required - details to be agreed.



Figure 24 Kitchen viewed from the courtyard - note the salt staining around the lintels, indicative of waterlogging from roof runoff. It is further proposed to raise the height of these walls by ~450mm, retraining the existing corbelled parapet (1.05).



Figure 25 The present roof covering (& possibly later infill panel material) has overloaded the historic jetties, causing ongoing strain to the supporting joists.

<b>1.11</b>	<b>Timber Frame Strapping / Reconnecting</b>
	<p>The timber framing between walls 9 and 11 are moving and require strapping together. Methodology to be agreed.</p> <p>Provide stainless steel straps to improve connection of 2nd floor crossrail into posts at either end. External wall 3a/3b at second floor level has rotated away from the timber framing behind (see fig. 26). Framing requires opening up and reconnecting into the framework and floor joists behind. Methodology to be agreed.</p> <p>Wall 13 has fallen backwards by approx 5 degrees. Principal corner posts to Wall 13 may require additional strapping - Engineer to advise.</p>
<b>1.12</b>	<b>Engineering Works to Wall 23</b>
	Add stainless steel straps to connect external brickwork to internal cross wall to staircase 2.
<b>1.13</b>	<b>Gutter Repairs</b>
	All main gutters are constructed from V-shaped oak boards lined in lead. Propose like-for-like repair in matching materials and dimensions where rot or failure is identified, e.g. walls 22 and 23.
<b>1.14</b>	<b>Surface Water and SV Pipe Repairs and Replacement</b>
	All lead and cast-iron pipes to be repaired and redecorated as required. To wall 13 remove 1920s lead surface water and SV pipes; to be replaced with new cast-iron pipework to reduce the number of pipes attached to the wall (see fig. 23 and drawing 3251-009B).
<b>1.15</b>	<b>Metal and Timber Window Repairs</b>
	<p>Repair or replace (where necessary) oak outer window frames and sills in oak to match existing sizes (see fig. 27). Metal and timber windows to be repaired where necessary to match existing materials and design, and redecorated. Identified repairs:</p> <ul style="list-style-type: none"> <li>• Replace failing/failed external window sills to WO2,WO3,WO4,WO9,W11,W18,W24, W25,W26,W27,W33,W34,W35,W38,W40; materials and dimensions to match existing.</li> <li>• To W5 replace the top of the timber frame, To W6 total replacement of timber frame.</li> <li>• W37 - replace rotten timber to top of external window frame.</li> <li>• W45 replaces the external window sill.</li> <li>• W11 - re-cord centre sash window and make work.</li> <li>• W23A - repair slight rot to stall riser.</li> <li>• W38 - remove from wall, repair rotten timbers and properly reinstall.</li> <li>• W41 and W42 - take out glazing, replace outer frames with new oak frames, and repair metal frames.W43 to W47 - ease and adjust windows and redecorate.</li> <li>• Replace windows 49, 50 and 51 on a like-for-like basis, matching existing design &amp; materials.</li> <li>• Bay Window Roofs on wall 5 - to be recovered in code 5 lead.</li> </ul>

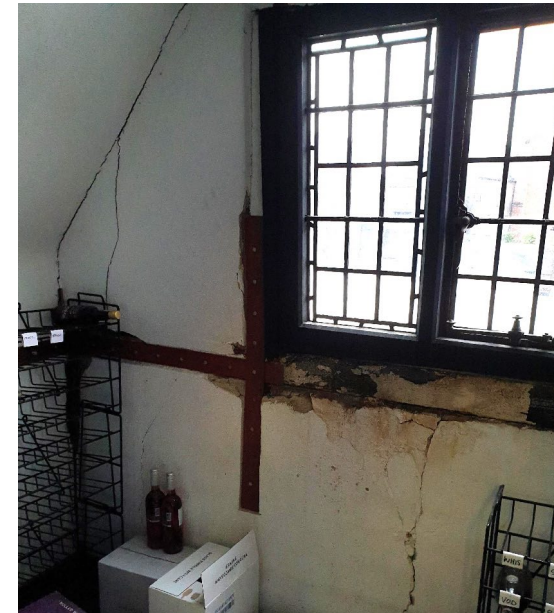


Figure 26 Temporary steel strapping to inside of Gable Wall 3A/3B as an emergency repair to halt ongoing structural failure.



Figure 27 Example of oak rot to a window frame.

<b>1.16</b>	<b>External Doors Repairs &amp; Replacement</b>
	Minor carpentry repairs to oak door D1 in matching existing. Re-hang Door D2 on longer hinges. Infill redundant Door D3 providing standard brick infill with render. Replace Door D4 with new external oak 'cottage' style door to match existing (see fig.24).
<b>1.17</b>	<b>External Drainage Works</b>
	Replace any broken drains in rear yard, and replace kitchen fat trap.
<b>1.18</b>	<b>External Redecoration</b>
	Infill Panels - All rendered infill panels to be painted with Ingliby Pozilime Lime Wash or similar, colour 'Lambswool'. Metal Windows to be redecorated in Ingleby Linseed Oil Paint in colour 'Blackish'. External doors and surrounds to be rubbed back by hand to bare wood, stained, and waxed with Ingilby's wax.

2.0 GENERAL INTERNAL REPAIRS & INTERVENTIONS	
<b>2.01</b>	<b>Ceiling Redecoration</b>
	Replace lining papers to ceilings and redecorate using Ingilby's distemper or similar.
<b>2.02</b>	<b>Secondary Glazing</b>
	Provide removable secondary glazing ( <i>Stormwindows</i> or similar) to all windows; powdercoated matt black and to be fitted to the inner face of timber frames allowing easy removal in summer if desired. See drawing 3251-010 for indicative details.
<b>2.03</b>	<b>Wall Plaster Replacement</b>
	Remove 1920s internal plaster to all exterior walls; re-plaster walls with approximately 50mm (depth) of cork insulating plaster to match existing locations (set between timbers and covering complete masonry walls). External walls to c.1960 kitchen to be lined with <i>Hygienic</i> wall lining.
<b>2.04</b>	<b>Electrics</b>
	Re-wire to existing runs and conduits, with surface mounting to be copper pyro grade wire. Replace existing sockets and switch covers in public rooms with Elesi Soho socket and switch covers in bronze.
<b>2.05</b>	<b>Fire Alarm</b>
	Provide new mains-powered interlinked fire detection and alarm system; to be surface mounted.



Figure 28 Poor quality later C20th plumbing in the ladies lavatory.

<b>2.06</b>	<b>Plumbing</b>
	Property to be replumbed using existing openings with Armitage Shanks fittings to male and female lavatories (see fig. 28).
<b>2.07</b>	<b>Central Heating</b>
	External Gas Central Heating Boiler to be removed from the rear yard. To be replaced by up to 3no. Stiebel Eltron (or similar) heat pumps for air to water heating. Solid ground floor floors to be provided with under-floored heating (see 4.01 below). All other rooms to be fitted with new aluminium radiators.
<b>2.08</b>	<b>Hot Water Heating</b>
	Provide new gas hot water boiler in the kitchen, with new external vent to Wall 15.
<b>2.09</b>	<b>Internal Engineering Works</b>
	The inner side wall in the cellar requires underpinning to prevent ongoing movement continuing vertically up the structure. Cracks to masonry to upper floors immediately above require tying with stainless steel helical bars and plastering repairs to match existing. The cellar steps show an area of movement which requires underpinning (see fig. 29). Engineer to advise on methodology. Cracks to masonry to upper floors immediately above require tying with stainless steel helical bars and plaster repairs to match existing.
<b>2.10</b>	<b>Internal Redecoration</b>
	Redecorate all internal plaster using Ingilby distemper paint (breathable emulsion) in 'Lambswool' for walls, 'White' for ceilings, and linseed paint colour 'Blackish' for principal timberwork. Redecorate all timber skirtings, architraves, bannister spindles etc. with Ingilby Aqua Eggshell colour 'Suffolk Ground'. Redecorate stair handrails and doors with Ingilby Wax (clear finish).

<b>3.0 CELLAR REPAIRS &amp; INTERVENTIONS</b>	
<b>3.01</b>	<b>Timber Floor Joist Repairs</b>
	DPM-wrap all timber joists to room GF2 above where these lie against the external walls. Add stainless steel plates to 2no. timber floor girders to provide proper support onto outer walls.
<b>3.02</b>	<b>Floor Insulation (GF2)</b>
	Fully insulate the floor to GF2 from below.
<b>3.03</b>	<b>Cellar Ventilation</b>
	Refurbish existing ventilation grates to improve ventilation.



Figure 29 Structural cracking to wall cellar staircase (stair 3).



Figure 30 Poor quality floor tiles on concrete slab in the c.1960 kitchen.

4.0 GROUND FLOOR REPAIRS & INTERVENTIONS	
<b>4.01</b>	<b>Concrete Floor Replacement / Floor Recovering</b>
	Rooms GF1 & GF3 - GF1 I - remove existing cover and concrete floors completely. Replace with Glapor insulating foam glass with hydraulic limecrete finish to improve insulation and slope. Floors to be provided with water-based under-floor heating. Floors to be tiled with new handmade terracotta quarry tiles (York Handmade Brick Company or similar) (see fig. 30). Room GF2 - remove laminate floor cover. Repair, stain and wax existing floor boards, or recover with Polyflor Eton Oak Parquet if floorboards not suitable.
<b>4.02</b>	<b>Stair Covering Replacement (Stairs 1 &amp; 2)</b>
	Take up all coverings to stairs and re-lay non-slip vinyl cover and safety nosings (see fig. 31).
<b>4.03</b>	<b>GF Internal Timber Plating</b>
	Provide painted mild steel plates to splits to major floor joists in ceiling of GF1. Provide painted mild steel plates to connect 2no. Floor joists into dragon tie in ceiling of GF2. Engineer to advise on plating repairs.

5.0 FIRST FLOOR REPAIRS & INTERVENTIONS	
<b>5.01</b>	<b>Floor Covering Replacement (FF1-FF5)</b>
	FF1 & FF4 - Take up floor covering, and overlay with 9mm ply sheeting. Recover in Polyflor Eton Oak Parquet floor covering. FF2 & FF3 - Remove floor covering, sand down and stain floorboards with a wax finish (fig. 32). FF5 - Take up floor covering, and overlay with 9mm ply sheeting. Recover in Polyflor Ultima floor covering (fig. 28).

6.0 SECOND FLOOR REPAIRS & INTERVENTIONS	
<b>6.01</b>	<b>Floor Covering Replacement (SF1 - SF5)</b>
	Take up floor covering in Rooms SF1-SF3, overlay with 9mm ply sheeting. Recover in Polyflor Polysafe Standard PUR flooring, or similar. Take up floor covering in Rooms SF4 -SF5, overlay with 9mm ply sheeting. Provide new dtcuk 'nouveau essential' carpet tiles, colour 'grey', or similar.
<b>6.02</b>	<b>Ceiling Replacement (Rooms SF3 - SF4)</b>
	Replace ceilings with lime hair lath & plaster following engineering repairs to these rooms.



Figure 31 Existing stair covering (stair 2).



Figure 32 Existing laminate floor covering to first floor rooms (Room FF3).

<b>6.03</b>	<b>Engineering - Second Floor Internal Wall</b>
	The internal masonry wall on the second floor supporting roof C as seen at the top of Stair 1, has moved due to unsuitable timber frame support below. The second floor wall requires rebuilding as a timber load-bearing structure. Additional timber support required below - engineer to design.

<b>7.0 ROOF REPAIRS &amp; INTERVENTIONS</b>	
<b>7.01</b>	<b>Re-cover Roofs A &amp; C</b>
	Strip roofs, add new breathable felt & insulation, and recover with new counter-battens & battens with William Blyth 'Barco Old English Pantiles' ('weathered' colour).
<b>7.02</b>	<b>Cross Strap Roof A</b>
	Add stainless steel cross strapping to halt racking to the roof.
<b>7.03</b>	<b>Re-cover Roofs B,D,E,F,G,H &amp; J</b>
	Strip roofs, add new breathable felt & insulation, repair and recover with new William Blyth plain tiles ('weathered' colour). * If jetty strengthening (I.10) cannot suitably address frame overloading, then new pantiles (as per Roof A (7.01)) may need to be utilised for Roofs E & F.
<b>7.04</b>	<b>Kitchen Roof (K) and Skylight Alterations</b>
	Remove C20th skylight (roof L) from Roof K. Repair existing concrete roof, closing former skylight opening (see fig. 33). Provide new insulation and add new external single membrane EPDM rubber cover. New insulation will raise external roof finish ~200mm from existing. Existing kitchen ventilation to be retained and reinstated following roof alterations.
<b>7.05</b>	<b>Dormer Window Cheek Alterations</b>
	Beneath roof B, the dormer window cheeks to be upgraded to provide better insulation and relined in new code 6 lead.
<b>7.06</b>	<b>Chimney Repairs</b>
	Chimney C1: Approximately 100 perished bricks to be cut out and replaced with matching bricks (second hand where possible). Both chimneys C1 and C2 to be repointed with lime mortar. Provide test areas for colour agreement prior to pointing being carried out.
<b>7.07</b>	<b>Box Gutters Repairs</b>
	Box Gutters to be relined in code 7 lead with minimum 75mm steps. All flashing to be replaced in code 5 lead as shown in drawing.



Figure 33 Present roof covering and skylight on the c.1960 kitchen range.

## HERITAGE IMPACT ASSESSMENT

### METHODOLOGY OF ASSESSMENT

Giving consideration to the National Planning Policy Framework, in particular paragraphs 194 – 202, the principal issue to consider in terms of planning conservation is whether the proposals put forward in this application preserve or enhance the character, appearance and special architectural interest of the property and that substantial harm to the asset has been avoided. To determine if this requirement has been met it is necessary to assess the impact of the proposed changes.

The impact of the proposal is evaluated by reference to the key items listed in the 'Proposals' section of this report; the magnitude of impact is assessed against the adjacent table, which is an extract from British Standard 7913:2013 Guide to the conservation of historic buildings. The Standard explains how this should be assessed.

The magnitude of impact of change should be assessed in relation to the significance of the value of the historic building. The magnitude of impact can range from a neutral impact where the value is low or negligible and there is no change, to very large where the value is very high and the impact is major. (BS 7913:2013).

### IMPACT ASSESSMENT


In the assessment table below the location each intervention is given a significance value ranging from very high to negligible, this is based on the wider assessment of significance as outlined in the 'Significance' section of this report. The magnitude of change is then assessed using values derived from the adjacent table.


V A L U E	Very High	Neutral	Slight	Moderate / Large	Large / Very Large	Very Large
	High	Neutral	Slight	Slight / Moderate	Moderate / Large	Large / Very Large
	Medium	Neutral	Neutral / Slight	Slight	Moderate	Moderate / Large
	Low	Neutral	Neutral / Slight	Neutral / Slight	Slight	Slight / Moderate
	Negligible	Neutral	Neutral	Neutral / Slight	Neutral / Slight	Slight
		No change	Negligible	Minor	Moderate	Major
MAGNITUDE OF IMPACT						

Magnitude of Impact Plotted Against Value – Adapted from BS 7913:2013


Proposed Intervention (As detailed in 'Proposals')	Heritage Value of Impacted Element (Significance)	Magnitude of Impact	Impact of Change	Justification & Mitigation Measures
I.01 Brick Anchors (Wall 2)	<b>Medium</b> 1930s brickwork face to C17th range	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Existing building break in the brickwork relates to the phased demolition and repair of this section of the site in the 1930s, resulting in the eastern wall (Wall 23) not being well bonded to Wall 1. Proposed anchors and repointing will improve its structural performance without affecting the appearance or special interest of the building.
I.02 Timber Frame Repairs (Walls 3 - 13)	<b>High</b> Mix of C14th, C17th and C20th timberwork.	<b>Minor</b> Proposed works will not impact special interest.	<b>Slight / Moderate</b>	A range of timber frame repairs are required principally to address rot and beetle infestation, and maintain structural integrity of the framework. Identified repairs largely relate to C20th timbers, and proposed works will retain as much existing timberwork as possible (through face repairs, scarf joints etc.). Proposed repairs would be on a like-for-like basis, matching material (air-dried oak) and existing dimensions. The timber frame is unpainted and proposed repairs/replacement timbers would be left to weather down to match. The existing jointing methods will be matched (historic carpentry joints and 1920s coach bolting where found). This approach acknowledges and responds to the significance of Cuthbert Morrell - Brierley & Rutherford's 1920s restoration, which created the present building. It is not proposed to replace 1920s work with more traditional carpentry.

1.03 Infill panel replacement (Walls 3 - 13)	<p><b>Low</b></p> <p>1920s render over unknown (presumed brick) infill.</p>	<p><b>Negligible</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral / Slight</b></p>	<p>Infill replacement would only be carried out where required for the repair of the timber frame or where failing due to water saturation. Existing panel fill material would be retained and reused where possible. New render would be in lime with caulked edges, and redecorated. Stainless steel screws would be utilised to fix loose render to some existing panels, which will be covered with new lime and redecorated match. Proposed repairs are necessary and would maintain the site's architectural special interest. A standing buildings watching brief would be carried out during framing repairs and internal alterations to document the fabric.</p>
1.04 Wall 13 repairs and alterations	<p><b>Medium</b></p> <p>Largely 1920s (&amp; later) replacement of early C17th timber framing and infill.</p>	<p><b>Moderate</b></p> <p>Proposed works represent a visible change.</p>	<p><b>Moderate</b></p>	<p>This early C17th timber framed wall historically faced onto a very narrow courtyard, and required almost complete replacement during the 1920s restoration, presumably due to its poor condition. No historic timbers survive at ground floor level, yet these timbers largely require replacement again. The historical lean (~5 degrees) to this wall results in significant water management issues, which the current 3no. lead projections are not effectively addressing. It is important to resolve the ongoing water ingress damage being caused to this wall (see fig. 23). The proposed new 3no. roof-lets have been carefully designed to represent the minimum visual or fabric intrusion necessary to prevent ongoing saturation of Wall 13 following the proposed timber repairs and infill replacement. While this will result in a visible change to the existing wall, it will not affect historic fabric on this largely hidden elevation, and will help secure the long term future of the structure. See drawing 3251-009B.</p>
1.05 Kitchen Wall Waterproofing (Walls 14-19)	<p><b>Low</b></p> <p>Plain C20th brick walls of utilitarian design apart from decorative corbelled parapet top.</p>	<p><b>Minor</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral / Slight</b></p>	<p>The insertion of a high level DPM and rebuilding of the wall top utilising the existing bricks, where possible, will not affect the appearance or special interest of these c.1960 walls (created by heightening c.1928 courtyard walls). The proposed works are required to reduce water penetration from the flat roof above, which is affecting the upper part of the walls and window and door lintels. If any additional bricks are required, matching (reclaimed or new handmade) bricks will be sourced.</p>


<p>I.06 Kitchen Wall Heightening (Walls 14-19)</p>	<p><b>Low</b></p> <p>Plain C20th brick walls of utilitarian design apart from 1920s decorative corbelled parapet top.</p>	<p><b>Moderate</b></p> <p>Proposed works represent a small visible change.</p>	<p><b>Slight</b></p>	<p>The present kitchen of c.1960, partially incorporates the 1920s boundary walls which were heightened, reusing the decorative copings to form a new parapet. These walls were matched for the new elevations (walls 14-16). It is proposed to heighten the walls (again) to facilitate the proposed addition of external insulation to the kitchen roof (see 7.04), and to conceal any future kitchen ventilation plant. The proposed insulation can be set to falls, improving water management to this roof, but requires the wall and parapet to be heightened correspondingly. The existing decorative corbelling would be reinstated to minimise visible change to these walls.</p> <p>Approximately 250 existing bricks within Wall 18 also require replacement due to spalling. Reclaimed or new handmade bricks will be commissioned to match existing.</p> <p>The proposed works, including full repointing in lime, will not significantly alter the walls (which have already been altered and heightened), and thus will not impact on special architectural interest of these otherwise utilitarian C20th brick walls. The brick replacement and repointing are deemed as positive changes. See drawing 3251-008B for impact of proposed wall height change.</p>  <p><i>Section of kitchen wall showing the c.1928 and c.1960 heightening and parapet. The impact of structural movement and water penetration from the roof can be clearly seen.</i></p>
<p>I.07 Stitch Repair Brickwork (Walls 20-21)</p>	<p><b>Low</b></p> <p>Blank 1930s brick gable walls, with restricted public view.</p>	<p><b>No change</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral</b></p>	<p>The insertion of stainless steel helical bars and repointing in lime mortar will not have a visible impact on the fabric and will not affect special interest. These works are required to address historic and ongoing movement in the building, and to ensure the walls continue to perform structurally and remain watertight.</p>


I.08 Repair Rear Yard Gate (Wall 17)	<p><b>Negligible</b></p> <p>Utilitarian c.1960 timber gate and posts.</p>	<p><b>No change</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral</b></p>	<p>Minor repairs to the decaying utilitarian gateway proposed on a like-for-like basis. This work represents a positive change and will have a positive visual impact.</p>
I.09 External Engineering Work (Walls 15, 16 & 18)	<p><b>Low</b></p> <p>Plain C20th brick walls of utilitarian design apart from decorative corbelled parapet top.</p>	<p><b>Negligible</b></p> <p>Details of proposed interventions not yet determined.</p>	<p><b>Neutral / Slight</b></p>	<p>Stabilisation of these C20th brick walls is necessary to address ongoing structural movement. Proposed underpinning would not affect the special interest of these largely utilitarian walls. An archaeological watching brief would be carried out for any below-ground works.</p>
I.10 Jetty Strengthening	<p><b>High</b></p> <p>Good survival of historic timberwork in places.</p>	<p><b>Minor</b></p> <p>Proposed works may be visible but should not impact special interest.</p>	<p><b>Slight / Moderate</b></p>	<p>The historic joists supporting the projecting jetties to both the late C14th and early C17th structures are bowing due to overloading of the frame (likely caused by changes to infill materials and roof coverings). Potential engineering interventions to address structural overloading of the projecting jetties have not yet been established, but may include the insertion of partner joists (in matching air-dried oak) to provide additional support to the existing joists supporting the jetties. Although these additions will be visible, they may be deemed necessary to secure the structural integrity of the significant historic timber framing.</p>  <p><i>The joist ends supporting the jetties across the site are bowed downwards due to overloading of the frame above.</i></p>
I.11 Timber Frame Strapping / Reconnecting	<p><b>High</b></p> <p>Good survival of historic timberwork</p>	<p><b>Negligible</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Slight</b></p>	<p>In several places, the timber framing requires reconnecting or strapping, including to both historic timbers and 1920s replacement timbers. Engineering methodology(/ies) require agreement, but any proposals will seek to minimise impact to the aesthetic and evidential value of the structure.</p>


I.12 Engineering Works to Wall 23	<b>Medium</b> Plain C20th brick wall and surviving C17th timberwork.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Strapping is required to ensure that the tall 1930s brick cladding on Wall 23 is fully connected to the structural timber frame inside. This proposed work is necessary to ensure the building is structurally sound, and would not affect its architectural special interest.
I.13 Gutter Repairs	<b>Medium</b> 1920s gutters of a typical Brierley & Rutherford style.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Proposed like-for-like repair as part of necessary periodic works, and will utilise matching materials and design. The proposed works will preserve the architectural and historical special interest of these 1920s Arts & Crafts inspired gutters.
I.14 Surface Water and SV Pipe Repairs and Replacement	<b>Low</b> Rainwater goods appear to entirely date from the C20th.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Existing cast-iron and lead rainwater goods to all walls (apart from Wall 13) to be repaired and redecorated as required, retaining as much historic fabric as possible. Wall 13 contains numerous lead pipes and rainwater goods which are in poor condition, as is the water management to this wall. Proposed works present an opportunity to rationalise the pipework to both improve the water management and improve the aesthetic appearance of this courtyard elevation. This proposed change will involve the loss of some 1920s-1930s fabric, but will serve to protect the wider historic fabric, and better reveal its aesthetic significance.
I.15 Window Repairs	<b>Medium</b> The windows all date from the 1920s to 1950s.	<b>Negligible</b> Proposed works will not impact special interest	<b>Neutral / Slight</b>	Where possible, windows will be repaired on a like-for-like basis, replicating the existing design, materials and dimensions, and retaining as much historic fabric as possible. Where poor condition dictates replacement or rebuilding, this will again be on a like-for-like basis. These works would maintain the special interest of the early C20th windows across the site.
I.16 External Doors Repairs & Replacement	<b>Medium</b> The doors all date from the 1920s to 1950s.	<b>Minor</b> Proposed works will not impact special interest.	<b>Slight</b>	The 4 external doors all date from the 1920s restoration or later. D1 is to be restored on a like-for-like basis and redecorated. The proposed change to the modern hinges of D2 is required to more firmly fix the door to the jamb to prevent movement. D3 has been blocked for a considerable time and has suffered from extensive waterlogging. Replacing this blocked opening with proper infill would retain its legibility as an opening but improve its aesthetic value, and improve water management. D4, which dates from c. 1960, is a 'cottage' style oak door, which is reaching the end of its lifecycle and requires replacement of a like-for-like basis.
I.17 External Drainage Works	<b>Negligible</b>	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Repairs to C20th drainage and fat traps are required to ensure effective management of runoff and kitchen waste at the site.

<p>1.18 External Redecoration</p>	<p><b>High</b></p> <p>The site has high aesthetic values as an Arts &amp; Crafts influenced restoration of historic timber framed ranges.</p>	<p><b>Minor</b></p> <p>Proposed works will have a positive impact on aesthetic values.</p>	<p><b>Slight / Moderate</b></p>	<p>The timber frame is silvered natural oak (unpainted &amp; unstained), and it is proposed to retain this, including for any repairs / replacement timbers, which will initially stand out, but will weather down to match over time. This follows the methodology employed through the 1920s restoration of the site.</p> <p>Metal windows to be redecorated in a similar colour to existing.</p> <p>The infill panels are proposed to be redecorated in a Ingilby's 'Lambswool' limewash, a pale cream which will complement the other colours/tones of the building, while still reflecting the 1920s Arts &amp; Crafts aesthetic. The proposed redecoration will be noticeable initially, but will result in a long term improvement to the aesthetic value and special interest.</p>  <p>Current external decoration, and Ingilby's 'Lambswool' colour</p>
<p>2.01 Ceiling Redecoration</p>	<p><b>Negligible</b></p> <p>Flat C20th ceilings.</p>	<p><b>Negligible</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral</b></p>	<p>Replacement of C20th lining paper and redecoration of flat ceilings to match existing as part of cyclical maintenance and decoration.</p>
<p>2.02 Secondary Glazing</p>	<p><b>Medium</b></p> <p>The windows all date from the 1920s to 1950s.</p>	<p><b>Minor</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Slight</b></p>	<p>It is necessary to improve the building's thermal performance in order to achieve its optimal viable use, especially given the current energy market. The site is presently very cold throughout much of the year, and prohibitively expensive for tenants to heat. The addition of removable secondary glazing to the 1920s windows would be an important counter to this issue. The proposed glazing is very slim and minimal in design and could be easily removed to help manage heat in the summers, whilst providing much needed thermal improvement during colder months. In combination with other proposals (e.g. thermal plaster and insulation) the proposed secondary glazing will significantly improve the site's thermal performance and environmental sustainability. These interventions are required to achieve the necessary thermal efficiency to employ the proposed heat pumps, as per the 2018 MEES legislation and the Government's <i>Heat and Buildings Strategy</i> (part of the Energy Security Bill 2022).</p>

2.03 Internal Wall Plaster Replacement	<b>Low</b> Plain internal plasterwork dates from the 1920s restoration or later.	<b>Minor</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	It is necessary to improve the building's thermal performance in order to achieve its optimal viable use, especially given the current energy market. The site is presently very cold throughout much of the year, and prohibitively expensive for tenants to heat. The replacement of existing 1920s (and later) plaster to the inner faces of external walls with cork insulating plaster (to match existing locations) will not impact on the site's special interest or its aesthetic significance. It will however (particularly in combination with proposed secondary glazing) significantly improve the site's environmental sustainability. These interventions are required to achieve the necessary thermal efficiency to employ the proposed heat pumps, as per the 2018 MEES legislation and the Government's <i>Heat and Buildings Strategy</i> (part of the Energy Security Bill 2022).
2.04 Electrics	<b>Negligible</b> C20th wiring including ad-hoc additions and alterations.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Periodic replacement works required to improve electrical safety. Existing conduits / runs to be utilised to minimise impact on historic fabric. Any surface-mounted electrics to be copper pyro grade wire to improve fire safety, and new sockets and switches to be upgraded to a style and material more in keeping with the historic interior. These works represent a positive change.
2.05 Fire Alarm	<b>Negligible</b> Modern functional items.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Periodic replacement works required to ensure fire safety. This will be surface-mounted to avoid impacting on the historic fabric.
2.06 Plumbing	<b>Negligible</b> Modern, low quality fittings.	<b>Negligible</b> Proposed works will have a positive impact.	<b>Neutral</b>	The gents (ground floor) and ladies (first floor) lavatories are all poor quality modern fixtures which require periodic replacement. Existing openings will be utilised to minimise impact on the historic fabric, along with new copper piping. These proposed works will not harm the special interest of the site.
2.07 Central Heating	<b>Negligible</b> Late C20th functional items.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Existing heating apparatus is reaching the end of its life cycle, presenting an opportunity to upgrade the heating in line with current government guidance. The proposed heat pumps will be positioned in an area not visible to the general public, and will provide more effective and cost efficient heating to ensure the building remains dry and comfortable for staff and patrons.
2.08 Hot Water Heating	<b>Negligible</b> Functional item and c.1960 brick wall	<b>Low</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Upgrade of functional modern item. The proposed new boiler in the kitchen will necessitate the insertion of a small circular vent into exterior Wall 15. The new vent (approx. 250mm diameter) will not be visible to the public and would only affect c.1960 plain brickwork. The proposed work will not affect the site's special interest.

2.09 Internal Engineering Works	<b>Medium</b> Some historic internal walls.	<b>Minor</b> Proposed works will not impact special interest.	<b>Slight</b>	The proposed underpinning works, and masonry repairs / redecoration are required to stabilise the structure, and to prevent further damage to the historic fabric. The proposed underpinning works may impact on the below-ground archaeology, methodology dependent, however the works represent less than substantial harm. Archaeological watching brief to be carried out during any ground works or major building works.
2.10 Internal Redecoration	<b>Negligible</b>	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Proposed redecoration using quality breathable paint, with the level of decoration to match the existing. A warm heritage decorative scheme has been carefully selected to compliment the historic fabric and 1920s restoration. This periodic redecoration is argued to be a positive change.  <i>Lambswool / White / Blackish / Suffolk Ground</i>
3.01 Timber Floor Joist Repairs (Cellar)	<b>Low</b> Includes some reused historic timbers.	<b>Minor</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	The historic floor joists require wrapping to prevent further decay where they connect into the damp cellar walls. Stainless steel plates are required to improve the connection of the two principal joists onto the walls. These represent very minor changes to help preserve historic fabric and secure the structure.
3.02 Floor Insulation (GF2)	<b>Negligible</b>	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	The proposed addition of insulation between the floor joists of Room GF2 (added from the cellar below) will not impact on the historic fabric, and will have a positive impact on the thermal performance and sustainability of the site.
3.03 Cellar Ventilation	<b>Negligible</b> Cellar openings inserted in the 1930s.	<b>Negligible</b>	<b>Neutral</b>	Existing window and grates in the external walls of the cellar all date from the 1930s onward. The refurbishment of these openings to improve air flow without affecting their significance, but will improve moisture management in the cellar.
4.01 Concrete Floor Replacement / Floor Recovering	<b>Negligible</b> Solid concrete floors date from 1928 - 1960.	<b>Major</b> Proposed change will be a positive change.	<b>Slight</b>	The present solid concrete floors are plain and all date from the 1920s or later. The proposed replacement of these floors with hydraulic limecrete and insulating glass beads will significantly improve both the site's thermal performance and moisture management. The improved moisture management will help protect the historic timber framing, and the insulation will improve environmental sustainability, allowing the proposed heat pumps to perform more effectively. An archaeological watching brief will be carried out during all groundworks.
4.02 Stair Coverings Replacement (Stairs 1 & 2)	<b>Negligible</b> Functional item	<b>Negligible</b> Positive change.	<b>Neutral</b>	Periodic replacement on a like-for-like basis, incorporating modern safety considerations.

4.03 GF Internal Timber Plating	<b>High</b> Good survival of historic timberwork	<b>Minor</b> No loss of evidential value proposed.	<b>Slight / Moderate</b>	It is necessary to provide mild steel plating (painted black) to some of the structural timbers (floor joists and dragon ties) visible in ground floor rooms. These will be designed to have the minimal visual impact and are required to ensure the structural performance of the historic timber frame. The proposed platings (subject to engineer's design) are deemed to not adversely impact on aesthetic value or the site's architectural special interest.
5.01 Floor Covering Replacement (FF1-FF5)	<b>Negligible</b>	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Periodic replacement and upgrading of existing floor coverings - proposed new floor coverings are in keeping with the historic interior. Floor of FF1 is of multiple levels and requires overboarding. Surviving level timber flooring in rooms FF2 and FF3 to be uncovered and restored, representing a positive change.  <i>Polyflor 'Eton' parquet oak flooring.</i>
6.01 Floor Covering Replacement (SF1 - SF5)	<b>Negligible</b>	<b>Negligible</b> Positive change.	<b>Neutral</b>	Periodic replacement and upgrading of existing floor coverings - proposed new hard wearing floor coverings are appropriate for service (non-public) spaces.
6.02 Ceiling Replacement (Rooms SF3 - SF4)	<b>Negligible</b> Functional plain plaster ceilings dating from 1920s.	<b>Negligible</b> Proposed works will not impact special interest.	<b>Neutral</b>	Proposed remedial replacement of plain white C20th ceilings following necessary structural repairs (see 1.11 & 7.02). The replacement of these damaged ceilings on a like-for-like basis (lime hair lath & plaster) and redecoration will not affect the site's special architectural interest.
6.03 Second Floor Internal Wall	<b>Low</b> Presumed 1931 insert.	<b>Major</b> Proposed change will be a positive change.	<b>Slight / Moderate</b>	This wall was likely inserted as part of the 1931 alterations to form bedrooms. The structural issues with this inserted wall require addressing to stabilise the building and prevent future structural failure. The realignment of the wall to allow it to be supported by the timber framing (if necessary) represents a relatively small change to the present layout. An engineering solution will be designed to minimise any visual or evidential impact on the historic fabric, ensuring the works represent less than substantial harm.

7.01 Re-cover Roofs A & C	<p><b>Negligible</b></p> <p>Inappropriate 1980s roof coverings.</p>	<p><b>Moderate</b></p> <p>Proposed works represent a return to historical materials, and is deemed a positive change.</p>	<p><b>Neutral / Slight</b></p>	<p>The existing roof coverings all date from the 1920s or later and are reaching their end of life, requiring replacement. Plain tiles were added to most roofs as part of the 1920s restoration, with pantiles retained on the C14th building until the 1980s. The current plain tiles have significantly increased weight loading onto the timber-framed jetties, which is damaging the historic timbers. Their removal from Roofs A &amp; C to be replaced with handmade pantiles will ameliorate this structural issue, and represents a return to historic precedent (see below). The opportunity will also be taken to add insulation, improving environmental sustainability.</p>  <p><i>Photos of C14th range showing its pantile roof covering in the 1880s (left) and 1970s (right) © York Explore.</i></p>
7.02 Cross strap Roof A	<p><b>Low</b></p> <p>1920s roof timbers.</p>	<p><b>Negligible</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral / Slight</b></p>	<p>The roof structure entirely dates from the 1920s restoration, when the historic roof timbers were fully replaced. The rafters forming the front pitch of roof A are racking and require internal strapping to prevent further movement. The proposed works will not affect the site's special interest.</p>
7.03 Re-cover Roofs B,D,E,F,G,H & J	<p><b>Low</b></p> <p>1920s and later roof coverings.</p>	<p><b>Minor</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Neutral / Slight</b></p>	<p>The existing plain tiles all date from the 1920s or later, and are reaching the end of their life, requiring replacement. The opportunity will be taken to fully insulate the roofs, before re-covering with new handmade plain tiles to match the existing. This will ensure the structure remains watertight, protecting the historic fabric below. The insulation will improve the thermal efficiency, supporting the wider scheme to improve the site's sustainability.</p>
7.04 Kitchen Roof & Skylight Alterations	<p><b>Negligible</b></p> <p>c.1960 roof and skylight both of functional design.</p>	<p><b>Major</b></p> <p>Proposed works will not impact special interest.</p>	<p><b>Slight</b></p>	<p>The kitchen skylight is of functional design and poor quality, and is reaching the end of its life cycle. The removal of the skylight and insulation of the roof will improve the site's thermal performance and improve the presently poor water management on the flat roof.</p>

7.05 Dormer Window Cheeks	<b>Negligible</b> Early C19th inserted dormer.	<b>Negligible</b> Minor upgrading proposed.	<b>Neutral</b>	The works represent an opportunity to improve the insulation and thermal performance of this small dormer window, likely inserted in the early C19th. New code 6 lead lining of the cheeks will help prevent water ingress. These proposed works will not impact the site's special interest.
7.06 Chimney Repairs	<b>Low</b> Historic and C20th chimney stacks.	<b>Major</b> Proposed works will not impact special interest.	<b>Neutral / Slight</b>	Like-for-like repairs with matching materials - handmade bricks to match dimensions, colour and texture, and lime mortar to agreed tint.
7.07 Box Gutters Repairs	<b>Negligible</b> Functional C20th items.	<b>Negligible</b> No change.	<b>Neutral</b>	Periodic replacement of leadwork on a like-for-like basis.

### ADJACENT DESIGNATION (SETTING) IMPACT **NEUTRAL (POSITIVE)**

There are numerous listed buildings within 50m of the site, including the adjacent timber framed range on Newgate (mid C14th, Grade II listed), and the rear elevation of timber-framed properties on The Shambles (Grades II\* and II). The proposed works in this application would not have any detrimental effect on these nearby heritage assets.

The proposed conservation works and exterior redecoration would have a positive impact, and the proposed heightening of the kitchen walls and addition of roof-lets to Wall 13 would not adversely affect the setting of adjacent Grade II heritage asset.



The adjacent C14th timber-framed range on Newgate, which only partially survives (site on right).

### CONSERVATION AREA IMPACT **NEUTRAL (POSITIVE)**

The site sits within Character Area 11 (Central Shopping Area) of the York Central Historic Core Conservation Area (YCHCCA). It is one of 24 character areas within this large and complex conservation area, which was adopted in 2011. The character area is noted as "the commercial heart of the city for over 1000 years" (2013 CYC Characterisation Project).

Although Jubbergate likely corresponds to a Roman extra-mural roadway, in contrast to much of this area, the site sits within a largely modern context. The Newgate / Shambles market was created in 1964 following the demolition of many historic properties surrounding the site. As a consequence, the site is today a landmark structure sitting within a comparatively open space of the market. As such it makes an important contribution to the character of the area, being one of the few structures linking to the historic timber frames remaining on Newgate and the Shambles. The proposed external repairs and redecoration in this scheme act to preserve and enhance the character and appearance of the site and of the conservation area generally, helping to maintain the character of the wider streetscape.



Detail of the broad characterisation of the Character Area, the site in red © CYC

## PLANNING STATEMENT

### PLANNING AND CONSERVATION POLICY

#### LOCAL POLICIES

Local to York the relevant conservation policies are contained within:-

- City of York Draft Local Plan (Incorporating 4th set of changes), April 2005.
- City of York Local Plan Publication Draft, February 2018. Each policy document is explored further below.

CITY OF YORK DRAFT LOCAL PLAN, APRIL 2005.

Within the above the following policies apply to this application:-

#### HISTORIC ENVIRONMENT

Policy HE4 – Listed Buildings:- With regard to listed buildings, consent will only be granted for the following types of development where there is no adverse effect on the character, appearance or setting of the building:

- Development in the immediate vicinity of listed buildings;
- Demolition;
- Internal or external alterations;
- Change of use;
- Erection of satellite antenna.

#### RESPONSE:

The proposals detailed within this application will not adversely affect the character, appearance or setting of no. 4 Jubbergate (the site). The majority of the proposed works relate to conservation repairs and structural or performance requirements. These proposals will act to secure the future of the site and its optimal viable use, as well as enhancing its character and appearance as a 1920s Arts & Crafts restoration of historic timber-framed vernacular buildings.

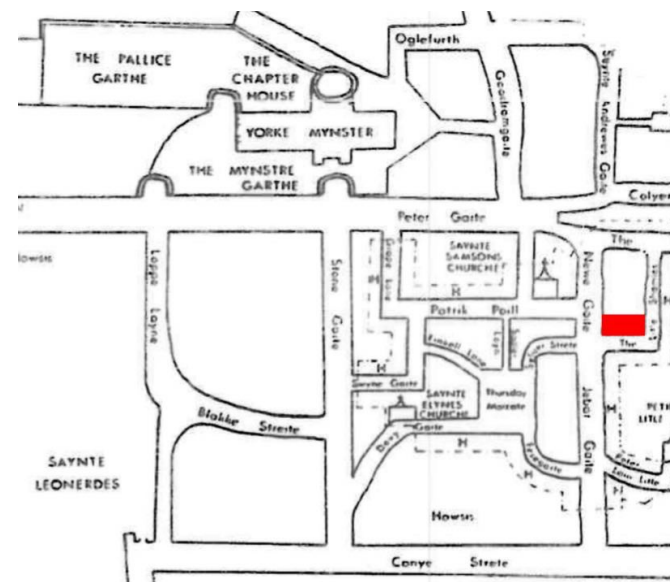
CITY OF YORK LOCAL PLAN PUBLICATION DRAFT, FEBRUARY 2018

Policy D5 – Listed Buildings:- Proposals affecting the special architectural or historic interest of listed buildings (designated heritage assets) will be supported where they:

- Sustain the significance and heritage values of the building; and
- Are accompanied by an evidence based heritage statement and justification. Proposals affecting the setting of a listed building will be supported where they protect its setting, including key views, approaches and aspects of the immediate and wider environment that are intrinsic to its value and significance. Alterations and extensions to listed buildings will generally be supported when they do not harm the special architectural or historic interest of the building or its setting, and when proposals have clear and convincing justification. As the purpose of listing a building is to conserve it for future generations, demolition should be wholly exceptional, requiring the strongest justification.



Construction Date Character Area Map (site outlined in red) © City of York Council.



Detail from a reproduction of the earliest detailed map of York (1545), with approximate site location marked in red (from Evans 2008).

**RESPONSE:**

The requirements of this policy are met within this application. Most of the works proposed relate to urgent like-for-like repairs and maintenance, which will sustain the significance and heritage values of this building. Most alterations, where proposed, are justified to improve structural and thermal performance. All changes have been carefully considered to minimise harm to the site and its significance.

Policy D11 – Extensions & Alterations:- Proposals to extend, alter or add to existing buildings will be supported where the design:

- responds positively to its immediate architectural context and local character, in terms of the use of materials and detailing, scale, proportion, landscaping and the space between buildings;
- sustains the significance of a heritage asset and/or its setting and the character and appearance of conservation areas;
- positively impacts on the setting, wider townscape, landscape and views;
- protects the amenity of current and neighbouring occupiers, whether residential or otherwise.

**RESPONSE:**

The requirements of this policy are met within this application.

**NATIONAL POLICIES**

At national level guidance is contained within Section 16 of the National Planning Policy Framework (NPPF) (2021). The relevant sections are as follows:-

Policy 194 In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation

**RESPONSE:**

Relevant details provided in 'Significance' & 'Heritage Impact Assessment' sections of this report.

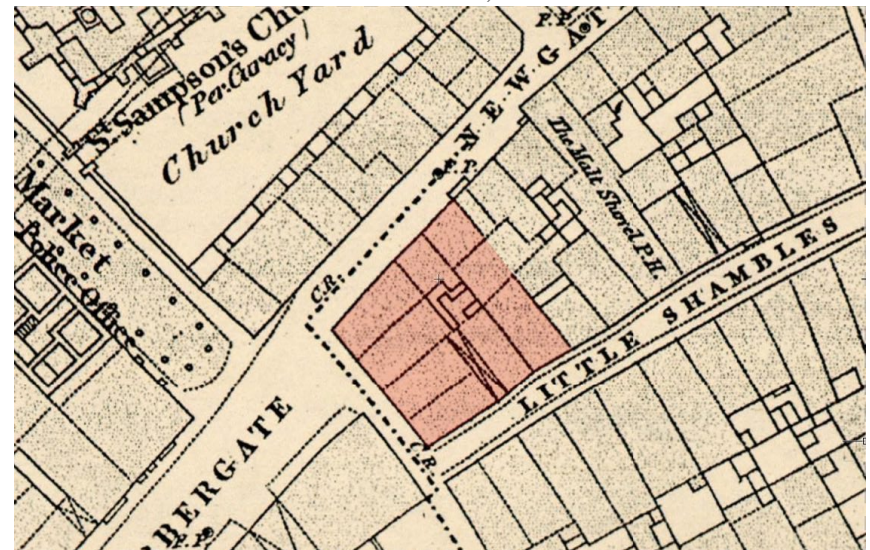
Policy 195 Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

**RESPONSE:**

Relevant details provided in 'Significance' & 'Heritage Impact Assessment' sections of this report.



Detail from John Speed's 1610 map of York, with approximate site location (red circle) (© City of York Archives).



Detail from first edition Ordnance Survey map of 1852 showing complex plan (© David Rumsey).

Policy 197 In determining planning applications, local planning authorities should take account of:

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- The desirability of new development making a positive contribution to local character and distinctiveness.

**RESPONSE:**

The proposals within this application will cause less than substantial harm to the heritage asset and are necessary to sustain its significance. Many of the proposed works will actively enhance the significance of the heritage asset.

Policy 199 When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

**RESPONSE:**

Please refer to the 'Heritage Impact Assessment' section of this report. This demonstrates less than substantial harm is proposed to the heritage asset.

Policy 200

Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of: a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;

b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

**RESPONSE:**

Please refer to the 'Heritage Impact Assessment' section of this report. This demonstrates there is less than substantial harm.



Medieval Monuments Character Area Map (site in yellow) © City of York Council.



Listed Structures in Character Area Map (site outlined in red) © City of York Council.

Policy 201 Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply: a) the nature of the heritage asset prevents all reasonable uses of the site; and b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.

**RESPONSE:**

Please refer to the 'Heritage Impact Assessment' section of this report. This demonstrates there is less than substantial harm.

Policy 202 Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use

**RESPONSE:**

The proposals put forward in this application are considered to cause less than substantial harm. The proposed works primarily relate to urgent conservation repairs and upgrades to secure the optimal viable use of the building.

No. 4 Jubbergate is a complex historic structure, which today includes a very open layout. This layout was created as part of the 1920s restoration, during which time many alterations were made to the building, including to walls, floors, roofs, chimneys, windows, and plasterwork. Collectively these alterations have resulted in a structure that reflects its 1920s restoration as much as its medieval and post-medieval development. The site today requires conservation repairs to address structural issues and disrepair in order to sustain its significance. The urgent works provide an opportunity to also undertake improvements to the site's thermal performance, as per the landlord's obligations under the 2018 MEES legislation, and in accordance with the Government's current guidance. The proposed alterations within this proposal represent a clear public benefit in helping secure the historic fabric and its optimum viable use through conservation repairs, improved functionality, reduced maintenance, improved thermal performance and thus environmental sustainability, and improved electrical and fire safety.

## APPENDIX A LISTING | Historic England

### 2, JUBBERGATE (\*erroneous numbering)

#### Overview

Heritage Category:	Listed Building
Grade:	II*
List Entry Number:	1257555
Date first listed:	14-Jun-1954
Date of most recent amendment:	14-Mar-1997
Statutory Address:	2, JUBBERGATE

#### Location

Statutory Address:	2, JUBBERGATE
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The building or site itself may lie within the boundary of more than one authority.

District:	York (Unitary Authority)
Parish:	Non Civil Parish
National Grid Reference:	SE 60412 51873

#### Details

#### YORK

SE6051NW JUBBERGATE 1112-1/28/515 (South East side) 14/06/54 No.2 (Formerly Listed as: JUBBERGATE White Rose Cafe)

#### GV II\*

House. Late C14 with early C17 crosswing extension; extensively restored 1928, including re-roofing and partial rebuilding and extension to rear of C17 wing. Restoration by Brierley and Rutherford. Both parts timber-framed; ground floor rebuilt in red herringbone brick and rear of wing in red-grey mottled brick in English bond; upper floors plastered and white-washed; tiled roofs with brick stacks. EXTERIOR: C14 block has 2-storey, 2-bay front, with gabled roof dormer and first floor jettied on adjacent sides; to right, C17 gabled crosswing of 2 storeys and attic, 1 bay, first floor jettied on adjacent sides, attic jettied at front. Framing exposed on all floors, that on ground floor mostly renewed except for dragon posts, that on upper floors largely original. C14 block has glazed and panelled door flanked by small-pane canted bay windows over sunk panelled risers, and two 2-light windows on first floor. C17 block has four windows of 2 or 3 lights on ground floor: on first floor, 3-light oriel window with 16-pane centre sash, flanked by small 2-light windows; 3-light window in attic gable. Good wrought-iron bracket at left end of attic jetty. Right return: 2-storey front of 2 unequal bays, with two parallel gabled crosswings to right, of 2 storeys and attics, and irregular fenestration. End crosswing has panelled door in 4-centred opening, and 1- and 2-light windows with tiled sills between upper floors. Windows elsewhere repeat those of main fronts, all with square- or diamond-paned leaded lights. Embattled rainwater head dated 1928 at eaves level of end crosswing. INTERIOR: original timber-framing and studding survive substantially in all parts of the building, including dragon beams in ground floor ceilings. At rear of left bay of C14 part is reset cast-iron fireplace. On first floor, C17 wing has moulded plaster cornice to ceiling and transverse beam; reset cast-iron range in fireplace. In C17 attic, front room has early C20 cast-iron fire grate in C19 surround, rear room retains chamfered 4-centred fireplace arch. An interesting example of early C20 restoration, by the important local architects Brierley and Rutherford. (City of York: RCHME: The Central Area: HMSO: 1981-: 149).

Listing NGR: SE6041251873

#### Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number:	463751
Legacy System:	LBS

## Sources

### Books and journals

An Inventory of the City of York V Central, (1981), 149

### Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

End of official listing

APPENDIX B FLOOD RISK MAP

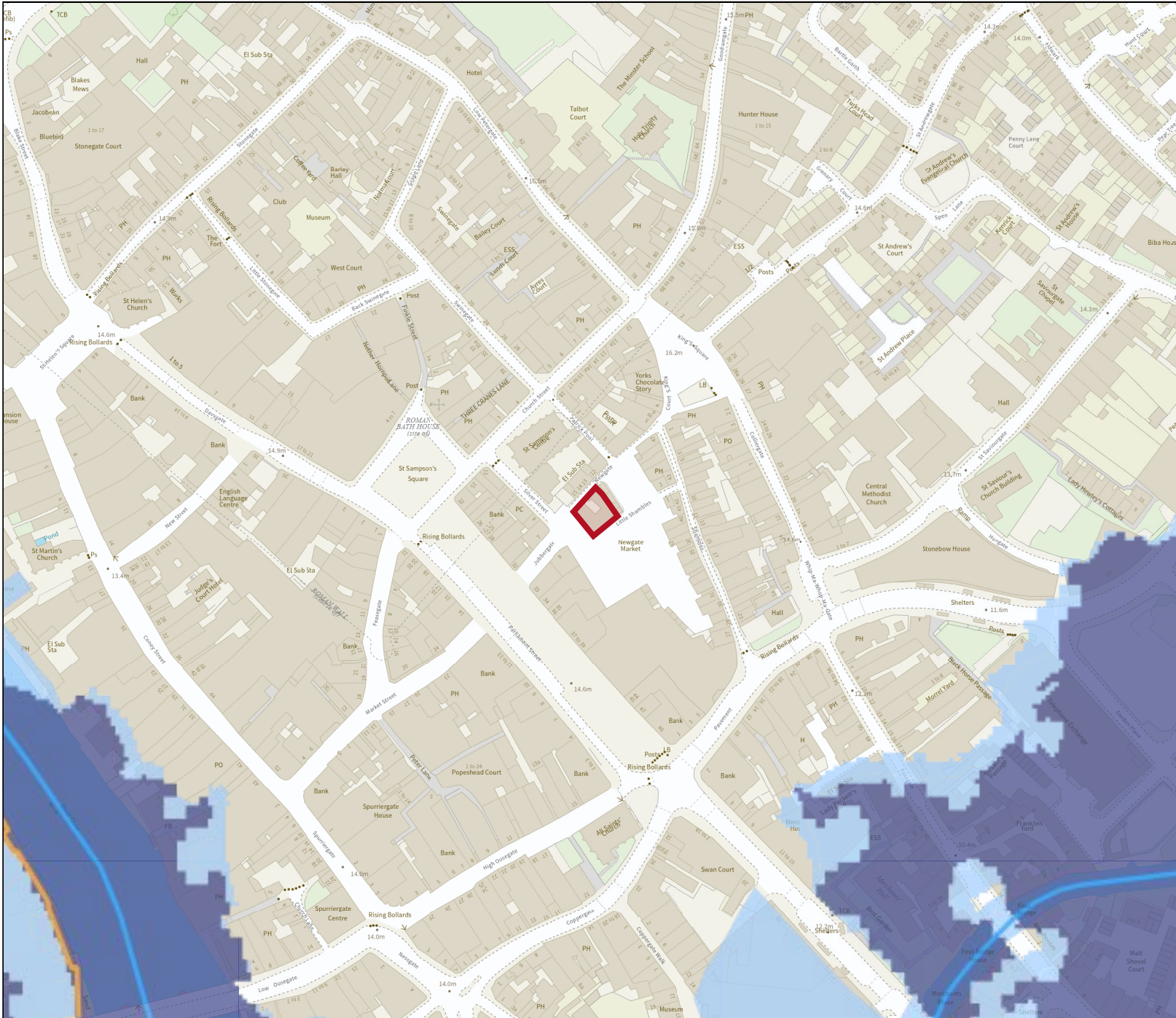
## Flood map for planning

Your reference  
**No.4 Jubbergate**

Location (easting/northing)  
**460412/451877**

Scale  
**1:2500**

Created  
**29 Jan 2023 16:10**



-  Selected area
-  Flood zone 3
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area

