

22-23 PARLIAMENT STREET, YORK

Design, Access and Heritage Impact Assessment

03/04/2024

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SECTION 1: INTRODUCTION

1.1 PURPOSE

The purpose of this document is to provide a written explanation to accompany the drawn proposals and documents submitted for Listed Building Consent for works to adapt 22–23 Parliament Street to accommodate a Knoops.

This document sets out a summary history of the relevant parts of the site, together with a detailed description of the design proposals and a heritage impact assessment.

This document should be read in conjunction with the following drawings:

- Existing Plans
243273-PUR-01-XX-DR-A-1000
243273-PUR-01-XX-DR-A-1001
- Existing External Elevations
243273-PUR-01-XX-DR-A-1010
- Proposed Plans
243273-PUR-01-XX-DR-A-2000
- Proposed External Elevations
240321_YORK_SH3_External Elevations
240321_YORK_SH6_Shopfront Details
- Proposed Internal Elevations
240314_YORK_SH4_Internal Elevations
240314_YORK_SH5_Internal Elevations

1.2 AUTHORSHIP

This report has been prepared by Purcell on behalf of Knoops. Specifically, it has been prepared by Olivia Morrill and Rachel Morgan at Purcell, a firm of Conservation Architects and Heritage Consultants.

1.3 DESIGNATION

The site comprises two Grade II listed buildings, 22 Parliament Street (NHLE Reference: [1256997](#)) and 23 and 24 Parliament Street (NHLE Reference: [1256998](#)). Numbers 22 and 23 now form a single property and both were first listed in 1997.

The site sits within York's Central Historic Core Conservation Area, encompassing the medieval walled city and early suburbs, which was first designated in 1968. The 2012 conservation area appraisal locates 22–23 Parliament Street with Character Area II: Central Shopping Area.

1.4 RELEVANT PLANNING HISTORY

A number of planning applications are recorded for the site from 2006 to the present – these are listed in Appendix A of this report. Those of relevance include those relating to the amalgamation of shopfronts at 22 and 23, as well as a succession of changing advertisement and branding.

1.5 PLANNING POLICY AND GUIDANCE

National

The Planning (Listed Buildings and Conservation Areas) Act 1990:

The primary legislation governing conservation areas is the Planning (Listed Buildings and Conservation Areas) Act 1990. The Act defines what a conservation area is and is the legislative mechanism for ensuring their preservation and enhancement.

The National Planning Policy Framework (2023)

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these should be applied. A key concept of this is that of achieving 'sustainable development' (paragraph 7), the objective of which is summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs. This is identified as having three principal objectives – economic, social and environmental.

The NPPF sets out the overarching requirement for local planning authorities to identify and protect areas of special interest (paragraph 196) and heritage assets (paragraph 201). Government guidance on the historic environment is found within the relevant section of the National Planning Practice Guidance (2019).

Historic England, Conservation Principles, 2008:

Historic England's Conservation Principles, Policies and Guidance provides a comprehensive framework for the sustainable management of the historic environment, encouraging change to a significant place and its setting only in ways that will best sustain its heritage values, while recognising opportunities to reveal or reinforce those values for present and future generations.

Historic England, Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets (2017):

This document provides guidance on how changes within the setting of a Listed Building, Conservation Area, Scheduled Monument, etc. can affect the significance of an asset itself. This consideration is included in the assessment undertaken below.

Local

York City Council are currently in the process of developing a new Local Plan but has not yet been adopted. The current York Local Plan was approved by Council for development management purposes in 2005 but not formally adopted and the council website states that "Given that the new Local Plan has reached an advanced stage of preparation and reflects the 2012 NPPF, the 2005 Draft Local Plan now carries very little relative weight in decision-making.". In the interest of completeness, relevant policies in the 2005 Local Plan include:

- SP3: Safeguarding the Historic Character and Setting of York
- GP1: Design
- GP4a: Sustainability
- GP16: Shopfronts
- GP21: Advertisements
- HE2: Development in Historic Locations
- HE3: Conservation Areas
- HE4: Listed Buildings
- HE6: Shopfronts in Historic Locations
- HE8: Advertisements in Historic Locations

Relevant policies in the emerging Local Plan relating to the site, heritage and conservation areas include:

- Policy DP2: Sustainable Development
- Policy SS3: York City Centre
- Policy D1: Placemaking
- Policy D4: Conservation Areas
- Policy D5: Listed Buildings
- Policy D11: Extensions and Alterations to Existing Buildings
- Policy D12: Shopfronts
- Policy D13: Advertisements

1.6 APPROACH AND METHODOLOGY

1.6.1 This heritage statement has been prepared to comply with the tests and requirements of the National Planning Policy Framework (NPPF), specifically paragraphs 200 and 201, under which a description of the significance of a heritage asset, including any contribution made by their setting, must be provided to support any planning applications. There is a requirement for applicants to make an informed assessment of heritage significance as part of a staged approach to decision-making. As part of determination, Local Authorities must also identify and assess the effect on that significance of any proposed changes.

The assessment follows the staged approach to decision-making set out within Historic England *Advice Note 12 – Statements of Heritage Significance: Analysing Significance in Heritage Assets* (2019):

- Understand the form, materials and history of the affected heritage asset(s), and/or the nature and extent of archaeological deposits

- Understand the significance of the asset(s)
- Understand the impact of the proposal on that significance
- Avoid, minimise and mitigate negative impact, in a way that meets the objectives of the NPPF
- Look for opportunities to better reveal or enhance significance

The report itself follows the suggested structure for a statement of heritage significance as set out in chapter 3 of the above document and also draws on other best practice guidance documents, *Conservation Principles* (2008) and *Historic Environment Good Practice Advice in Planning Note 3 – The Setting of Heritage Assets* (2017)

1.6.2 Significance assessment criteria

Significance can be defined as the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting (NPPF, 2019). The understanding of the significance of a place is vital to inform sensitively managed change.

In accordance with *Historic England Advice Note 12 – Statements of Heritage Significance: Analysing Significance in Heritage Assets* (2019) and the NPPF, the following criteria are employed within this report to assess significance:

Archaeological interest – There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

Architectural and artistic interest – These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved.

Historic Interest – An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

The levels of relative significance used to inform the assessment of significance in this heritage statement range are High Significance, Medium Significance, Low Significance, Neutral and Intrusive Significance.

1.6.3 Impact assessment criteria

Heritage impact is defined as the potential level of harm or benefit to special architectural or historic interest causes by proposed development. The NPPF stresses that impacts on heritage assets should be avoided and if it cannot be avoided, it should be minimised or mitigated. The NPPF does not prescribe a format or title for analyses of heritage significance and/or impact. The methodology used here is based on the guidance set out in *Historic England, Advice Note 12 – Statements of Heritage Significance: Analysing Significance in Heritage Assets* (2019).

1.6.4 Assessment of setting

The NPPF details the requirement to examine a building within its setting for the impact that it has on the landscape around, and for the contribution that its setting makes to its significance:

'Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'¹

Originally produced in 2011 by Historic England, *Historic Environment Good Practice Advice In Planning, Note 3: The Setting Of Heritage Assets* (Second Edition) (2017), has been revised to reflect changes resulting from the NPPF and now takes the form of a Good Practice Advice note (GPA 3). The document sets out how the significance of a heritage asset derives not only from its physical presence and historic fabric but also from its setting – the surroundings in which it is experienced. The careful management of change within the surroundings of heritage assets therefore makes an important contribution to the quality of the places in which we live.

¹ NPPF, Annex 2, Glossary, p71

SECTION 2: UNDERSTANDING THE SITE AND ITS SIGNIFICANCE

2.1 PARLIAMENT STREET: A BRIEF HISTORY

By the 18th century, the historic core of York city centre had become very densely built up. The area that now forms Parliament Street was a much narrower space frequently overcrowded by bustling market stalls vying for space between the two ever-growing principal markets at St Sampsons Square and Pavement. The York Corporation sought an Act of Parliament in 1827 to resolve the problem, the enable "the linking of Pavement and Thursday Market [St Sampson's Square] by a broad, new street, and the extensive demolition of old property.". Permission was granted in 1833 and a competition was held for the best new design, of which the surveyors Pickersgill and Oates were the winners. Around 50 buildings in St Sampson's Square, Pavement and Jubbergate were demolished (Alan Baxter Associates, 2012) and the new street was opened in 1834, taking its name from the Act of Parliament required for its construction. Large buildings were constructed to either side of the widened street, mostly of four stories with shops to the ground floor and living accommodation above and 22-23 Parliament Street were amongst the first built to line the new street.

The new, larger market opened in 1836 which flourished into the late 20th century. In the 1980s, Parliament Street was largely pedestrianised, along with other central shopping streets, which reinforced York's position as a regional shopping hub. Parliament Street still functions as a key shopping area, although with increasing vacancy rates in recent years, and is also the focal point of several temporary markets and festivals throughout the year.

2.2 BRIEF HISTORY OF THE SITE

22-23 Parliament Street were constructed between 1836 and 1839, originally two separate properties, with shops to the ground floor, showroom to the first floor at number 22 and living accommodation to the remaining upper floors. Advertisements in the Yorkshire Gazette in 1844 indicate the occupant of the site was the business of "J. Waudby & Sons, Marble Importers and Manufacturers with extensive works in Hull." They sold monuments, and the first-floor showrooms displayed chimney pieces. In 1855, no. 22½ Parliament Street was the shop or workshop of Thomas Wright, milliner and dressmaker. In Stevens' Directory of York of 1885, the building is listed both on Parliament Street and St Sampson's Square, at which time it was occupied by A. and J. Kleiser, watchmakers and jewellers.

Number 23 does not appear on historical directories or census records, as it possibly formed a single unit with number 24. Kelly's Directory of York of 1913 lists Kleiser & Sons still at number 22 and W. R. Fletcher, a butcher's shop, at number 24. Later photographic evidence dating from 1957, shows number 22 in use as a Timothy Whites & Taylors chemist to the ground floor and insurance offices above and number 23 as separate shop but its name is unclear. Both properties have 20th century shopfront inserted at ground floor by this time.



Photograph dating to 1957 showing the ground and first floors of 22-23 Parliament Street



Photograph of the site dating to 1979.

A photograph dating to 1979 shows number 22 in use as another opticians with residential accommodation above and number 23 in use as Maynards confectioners and newsagents at ground floor. A later photograph dating to 1987 shows number 22 now in use as Dollond & Aitchison opticians and number 23 as Maynews, a local newsagent chain.



Photograph of the site, outlined in red, dating to 1987.

Dollond & Aitchison expanded into the upper floors of number 23 during the late 20th century, and amalgamated the shopfronts in 2006. The optician's chain was one of the oldest retail opticians in the United Kingdom, established in 1750, until it was merged with Boots Opticians in 2009. Numbers 22 and 23 operated as Boots Opticians until its closure in 2023. The properties are vacant at the time of writing.

2.2 DESCRIPTION OF THE SITE AND ITS SETTING



Parliament Street elevation.



St. Sampsons Square elevation.

Exterior

Number 22 holds a prominent corner site and has principal elevations facing onto both Parliament Street (south) and St. Sampsons Square (west). Constructed in red-brown brick in Flemish bond and a hipped pantile roof, the property sits over four storeys, with three bays to the southern elevation and two bays to the western elevation.

To the ground floor is an early twenty-first century timber shopfront in a traditional style, with a central recessed glazed door to Parliament Street between half canted plate glass windows. The shopfront also features moulded timber stallrisers, pilasters, scrolled console brackets on the fascia and heavy moulded fascia cornice. The shopfront is in a poor condition and appears to be deteriorating with vacancy. There is evidence of damage due to water ingress, poor paintwork and what appears to be a uPVC skirting board applied to the foot of the stallrisers. Its western elevation facing St Sampson's Square also features at ground floor a timber panelled door in moulded terracotta doorcase with grooved pilaster jambs, and multicoloured overlight in moulded and pedimented overdoor flanked by scrolls, between volutes. The pediment and upper door jambs feature star and floriate decoration.

Fenestration to upper floors consists of one-pane timber sashes ovolo-moulded architraves with flat keyed arches of gauged orange brick, and narrow aprons moulded in low relief scrolls beneath sills. Corner angles are clad in tiers of paired grooved and plain pilasters with moulded imposts. At first floor, the St Sampson's Square elevation features a three-light shop window with Composite pilaster jambs and moulded dentilled cornice, likely inserted in the late nineteenth century to showcase wares in an upper floor showroom. Both elevations have heavy moulded timber cornices. The terracotta mouldings are damaged to the majority of openings, with the windows themselves having deteriorating paintwork.

Number 23 is shorter, with three storeys and a single bay, forming a two-bay build unit with attached number 24 (not part of the project site). Constructed in brick, now painted white, in Flemish bond with a slat roof and brick chimney stack. The twenty-first century shopfront continues at ground floor level. Fenestration to upper floors comprises twelve-pane timber sashes with painted stone sills and flat brick arches. It features a moulded timber eaves cornice and fluted bowl rainwater head.



Interior of shopfloor



Interior of shopfloor

Interior

At ground floor, there is an entirely modern fit-out and decorative scheme to the shopfloor and rear office room, including suspended ceiling, linoleum tiles over MDF flooring and plasterboard walls. Doors and windows are modern. Following the vacation of the previous tenants, the overall decorative scheme is in poor condition. Back of house space at ground floor has the same modern fit-out but historic architectural features are visible, such as the inner side of the panelled timber door and 19th century staircase (now carpeted) with decorative balusters and heavy turned newel post.

Where sections of the suspended ceiling have been removed, there is another modern suspended ceiling above. Above the second suspended ceiling, there is evidence of an historic decorative scheme, including areas of lath and plaster painted ceiling and cornice. On site inspection indicated that surviving elements are fragmentary, having been subject to many internal changes in the 20th century.



Surviving cornice above two suspended ceilings at ground floor.



Nineteenth century handrail to main staircase that continues up to third floor, and inner side of panelled door.

The basement level has also been subject to wholesale modernisation, with part previously used as storage and other areas seemingly disused and in a poor state of repair. There are modern screed floors, partition walls with modern finishes and modern doors, and access to the pavement vaults beyond. The space has likely had a back of house function since its construction and as such has been subject to significant alterations, including the blocking of openings and cutting off a modern staircase that presumably led to number 23 before the two properties were amalgamated.



Basement areas.



To the upper floors, there is a modern fit out and decorative scheme associated with the former optician use, with modern partitions, carpeted floors, suspended ceilings and modern painted finishes. Again, there is some evidence of a historic decorative scheme above the suspended ceiling at first floor but has been subject to substantial alteration and damage. The second floor and third floors also retain historic door architraves and window surrounds to some rooms, as well as better surviving cornices and picture rail detail in one room. The spaces above at number 22 are generally in better condition, with the floors relating to number 23 appear to be neglected and in a deteriorating condition.



Example finishes to upper floors, with surviving areas of cornice and door frames.



Setting

The early Victorian layout of Parliament Street survives today, with a variety of commercial and retail architecture dating to the nineteenth and twentieth centuries, set largely over three or four storeys with shops at ground floor and storage or office accommodation above. Properties follow the same building line and are generally of brick construction, now painted or rendered. Shopfronts are in a variety of styles, with a mixture of historic and modern timber designs.

The breadth of the street enables free pedestrian movement, and together with the open space of St Sampson's Square, provides a break from the density and enclosure of surrounding streets. The public realm is a mixture of large stone paving slabs, red-purple stone setts and low-rise stone kerbs, with metal bollards, bench seating and mature London plane trees.



Conservation area – Parliament Street and St Sampson's Square.

The site is bordered to the north-west by a pair of four-story brick buildings of a similar age, although they have experienced much alteration in the twentieth century. To the east is number 24 and then a late twentieth century insertion at 25-27, constructed in red brick over three floors with four bays and a pitched slate roof.

The site, particularly number 22 with its striking decorative terracotta and orange brick design, is a prominent building within the conservation area (Character Area 11) and makes a positive contribution to the streetscape in views eastwards from St Sampson's Square and Davygate, as well as northwards from Parliament Street and Feasegate.

2.3 STATEMENT OF SIGNIFICANCE

The site comprises two Grade II listed buildings, which considers them to be of special national interest. Both buildings derive historical interest in their illustration of the construction of Parliament Street in the 1830s, which followed a wider national pattern of largescale civic improvements to townscapes throughout the Victorian period. They also demonstrate nineteenth century construction techniques, designs and commercial and retail patterns of the time period, with purpose-built shops to the ground floor with office or living accommodation above. The first-floor showroom window at number 22 allows a further degree of historical and architectural interest as it illustrates the changing retail needs in the later nineteenth century, with further floorspace required.

Number 22, and later number 23, have been in use as an optician's for over forty years, a relatively long time for a single retail use that has become cemented in local communities' experiences of, and association with, the site, providing a degree historical interest.

Architectural interest of the buildings is generally focussed on the aesthetic value of number 22's design. Conscious effort was employed in its design, utilising striking terracotta floriated decoration and extensive use of contrasting orange brick to highlight other decoration to the windows and corners. Its elaborate decoration, when compared to buildings of a similar age in the area, and purposeful corner position, was designed to demonstrate to nineteenth century shoppers that one was entering a quality retail area along the newly constructed Parliament Street.

The ground floor shopfront, while of a traditional style timber design, is of low significance as it is known to have been inserted in 2006, following a series of modern shopfront designs in the later twentieth century.

3.1 DESIGN

The proposals have been developed to facilitate the use of 22–23 Parliament Street as a Knoop's outlet serving hand crafted chocolate drinks.

Knoop's first shop opened in Rye, East Sussex in 2013. It has flourished as a business and has opened stores across the country. The company has a strong brand identity and with a consistency in design across its estate. Externally the shopfronts are decorated in a striking Signal Black. The fascia signs are comprised of individually mounted letters and simple, round projecting or hanging signs with the distinctive K are mounted to the elevations.

Externally the proposal for decoration and signage is in keeping with the brand identity. Refer to the external elevations and sign details. The proposal is to decorate the timberwork on both elevations, including the timber cornice, sash windows, doors and shopfront in RAL 9004 Signal Black. It is proposed to install high quality signage to the shopfront. To the frontages on Parliament Street and Jubbergate aluminium lettering is proposed to be mounted to the fascia with a small projection of 50mm and a hanging sign in a simple, contemporary design made of painted ply is proposed to be mounted in the location of the existing brackets.



Knoop's, Manchester



Knoop's, Chelsea



Knoop's, Edinburgh Old Town



Knoop's, Knightsbridge

22-23 PARLIAMENT STREET, YORK



Knoops, St Albans



Knoops, Rye, East Sussex

The interior of Knoops are similarly driven by brand identity with consistent finishes used across the estate. There is a particular commitment to the use of innovative, sustainable materials for new fit out. Counters and retail shelving are made from Durat, a solid surface material made from post-industrial plastic waste and menu panelling is built from Eco-Board - an alternative to chipboard - which is created from agricultural waste and has a negative carbon footprint.



Knoops, Brighton



Knoops, Brighton



Knoops, St Albans



Knoops, St Albans

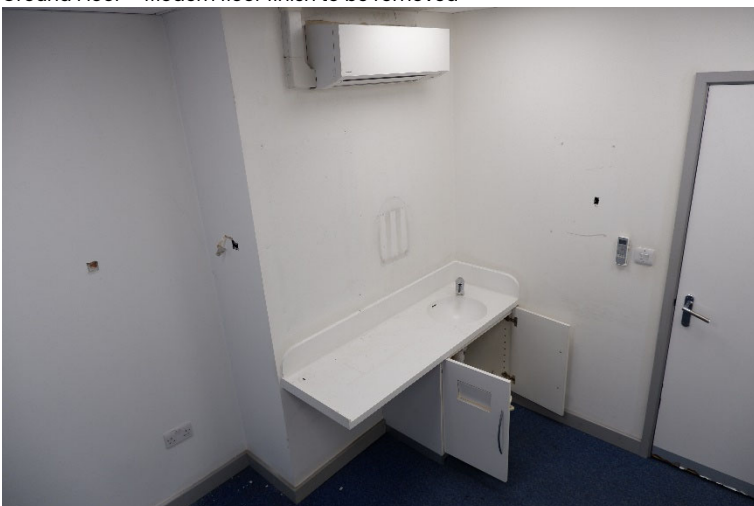
The previous use of the ground floor was as an optician and thus alterations are required to accommodate the new use. At ground floor it is proposed to remove carefully existing modern wall linings and partitions, suspended ceiling and floor coverings. Refer to the existing ground floor plan for the extent of modern wall linings to be removed.



Ground Floor – Modern partitions, suspended ceiling and floor finish to be removed



Ground Floor – Modern floor finish to be removed



Ground Floor – Modern partition and wall linings to be removed



Ground Floor – Modern door to be removed (foreground)

The ground floor will be fit out to accommodate the service area, seating and a new accessible WC for customer use, refer to proposed plans for further detail. The fit out of the ground floor will include:

- Installation of new partition between service area and dishwasher
- Relocation of the door to the stair lobby
- Installation of an accessible WC, with IPS system
- Installation of a new metal framed ceiling retaining historic fabric above
- Dry lining to walls using metal framed system retaining historic fabric behind
- Installation of new finishes
- Cabinetry fit out

The basement is proposed to accommodate the necessary back of house functions, including storage, staff office, WC, kitchenette, cleaners' cupboard and grease trap, refer to proposed plans for further detail. The fit out of the basement will include:

- Dry lining to walls using metal framed system retaining historic fabric behind
- Installation of new partitions to subdivide the spaces and to close off unusable areas of the basement
- Installation of new finishes
- Installation of a small kitchenette and staff WC
- Steps and landing formed, in a timber frame to provide safe access into the east area of the basement

Internally alterations are not proposed to the other floors of the building.

Additional servicing, specifically drainage and water supply, will be required to allow the ground floor and basement to function in its new use. Refer to appendices for locations of cores. Existing cores have been reused where possible and new have been carefully considered to minimise damage to the historic fabric. Servicing for the back of house areas will be above ground and surface mounted as far as possible to mitigate damage to the historic fabric. The existing plant is located externally at basement level and it is proposed that it will stay in this location, some plant units will be replaced as part of the works.

3.2 ACCESS

Access to the building is currently level and this will not change as a result of the proposals. Access to the upper floors and basement is via stairs, there are no changes proposed to these floors and no amendments proposed to the access.

At present there are no accessible facilities provided, and the installation of an accessible WC on the ground floor will improve the accessibility of the property. Given the capacity (approx. 15 covers plus up to 5 staff) and use which is equivalent to a café, a single accessible WC is considered to be a reasonable provision.

4.1 IMPACT ASSESSMENT

This section considers the impact of proposed change to 22 and 23 Parliament Street, York, two grade II listed buildings, and their setting within the York Central Historic Core Conservation Area.

The proposals for 22–23 Parliament Street are discussed in greater detail above, but include:

- Alterations to shopfront and signage
- Painting of upper storey windows
- Removal of existing shop fit-out
- Insertion of new café fit-out at ground floor
- Servicing and basement alterations for back of house use

Shopfront, Signage and Painting

The current shopfront is modern, in timber, dating to the 20th and early 21st centuries, and is of neutral value. The condition of the shopfront is currently poor, suffering from effects of water ingress and general poor maintenance, likely associated with its vacancy. As such it is considered to have a detrimental impact on the ability to appreciate the architectural value and quality of the upper floors and a detrimental impact on the character and appearance of the conservation area. The proposals to clean and repaint the shopfront will therefore have a beneficial impact on the building and wider conservation area.

Proposals to change the colour of the shopfront and apply slimline lettering will have a neutral impact on the ability to appreciate the significance of the building and the conservation area. There are several buildings in the immediate vicinity with similarly coloured shopfronts. A new non-illuminated sign will reuse the existing bracket, with a high-quality timber finish, to complement the shopfront below and as such will have a neutral impact on the significance of the building. It is worth noting that there is a wide variety in the shape and size of other existing hanging and protruding signage along Parliament Street and the small, proposed sign will likely have a neutral impact on the wider conservation area.

Windows to the upper floors are of a late 19th century date and illustrate later Victorian fenestration technology with larger plate glass for sashes, and as such hold historical and architectural value of medium significance. Proposals are to paint the timber window frames black, to provide cohesion in the principal elevation with the proposed shopfront and Knoops branding. Changing colour would likely have a neutral impact on the listed buildings, as their architectural interest is not strictly derived from the colour of the windows. It may, however, have a low adverse impact on the character and appearance of the wider conservation area, as the majority of upper floor windows are white painted. However, it is noted that the existing painted finish is deteriorating and windows across the building would benefit from a scheme of cleaning and repainting.

Shop Internal Fit-Out

The interior of the ground floor has been in commercial use as an optician for over forty years, during which time many modern alterations and insertions have taken place. As such, all existing internal shop fixtures and decorative schemes are modern and of neutral value. The proposals remove the existing shop fit-out and insert removable retail furniture, and a partition wall to create separation between service and dishwasher areas. Given that the current ground floor fixtures and fittings are modern and of no significance, the changes have a neutral impact on the significance of the building and the conservation area. Provided that fixture of the partition walling to the internal walls is sensitively carried out, the works will have a neutral impact on the significance of the building.

Replacement of the decorative scheme with that detailed in the previous section and accompanying plans would have a neutral impact on the significance of the building. Installation of suspended ceilings will ensure that surviving pockets of cornice beneath the current fit-out will be retained.

Services and Basement Alterations

As discussed in the previous section, additional servicing for drainage and water supply will be required to enable the ground floor to function in its new use. Existing provision is limited due to the nature of the buildings' previous use, but existing cores will be reused where practicable. New cores have been carefully considered and have been proposed in locations to minimise damage to the historic fabric and the ability to appreciate the buildings' historical and architectural interest.

The current condition of basement areas is poor, with wholesale modernisation and 20th or 21st century finishes throughout. The spaces have likely been used as back of house and storage since the buildings' construction and have consequently been altered to suit requirements. It is considered that the basement areas are of low historical value, with some ability to illustrate the story of number 22 and 23. Proposals include installing partition walls within two rooms to facilitate a better use of space for staff and services necessary for café use. Other proposals include insertion of a new staff WC and washing facilities, water services, grease trap and storage shelving and fridges. These works may have a low adverse impact on the significance of the buildings through the minor removal of fabric but is considered necessary to enable a new use to the currently vacant ground floor. Provided that fixture of the partition walling to the internal walls is sensitively carried out, the works will have a neutral impact on the significance of the building.

4.2 SUMMARY AND CONCLUSIONS

Although much altered internally, the site holds important architectural and historical value, particularly in the elevations of number 22 and their illustration of 19th century planned civic improvements including the creation of Parliament Street. The present proposal aims to bring a new use to the ground floor unit at 22-23 Parliament Street, which has been vacant since early 2024, and has become an inactive and deteriorating frontage in a prominent position in the conservation area, also detracting from the fine decoration to upper storeys.

The proposals retain the modern, but traditional style timber shopfront, which will enable an active use and attractive frontage on Parliament Street, which currently faces challenges with vacancy in many units. Proposed works will improve the site's image, reinstate a high-quality finish at ground floor and improve its condition. In turn, this will bring a neutral to low beneficial impact to the special character and appearance of the conservation area, as well as better complementing the quality of the upper storey architectural detail.

Planning Policy and Guidance

City of York Local Plan, Draft Local Plan Incorporating the 4th set of changes, April 2005:

<https://www.york.gov.uk/downloads/file/2822/the-local-plan-2005-development-control-local-plan-full-document-and-appendices>

City of York Local Plan – Publication Draft, February 2018: <https://www.york.gov.uk/downloads/file/1314/cd001-city-of-york-local-plan-publication-draft-regulation-19-consultation-february-2018->

Historic England, *Conservation Principles* (2008) <https://historicengland.org.uk/advice/constructive-conservation/conservation-principles/>

Historic England, *Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets* (2017) <https://historicengland.org.uk/images-books/publications/gpa3-setting-of-heritage-assets/>

Historic England, (2019) <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/>

National Planning Practice Guidance (2019) <https://www.gov.uk/government/collections/planning-practice-guidance>

National Planning Policy Framework (2023) <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

Planning (Listed Buildings and Conservation Areas) Act 1990

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<https://planningaccess.york.gov.uk/online-applications/search.do?action=simple>

APPENDICES

APPENDIX A: PLANNING HISTORY

Alterations to shopfront at no.22 Parliament Street and new Shopfront to no.23 Parliament Street

Dollond And Aitchison, 22 Parliament Street, York, YO1 8RS

Ref. No: 06/01151/FUL | Validated: Tue 23 May 2006 | Status: Decided

Internal and external alterations to 22 and 23 Parliament Street to combine properties into 1 no. retail outlet and new shopfronts

Dollond And Aitchison, 22 Parliament Street, York, YO1 8RS

Ref. No: 06/011531/LBC | Validated: Tue 23 May 2006 | Status: Decided

Display of new non-illuminated fascia and projecting hanging signs

Dollond And Aitchison, 22 Parliament Street, York, YO1 8RS

Ref. No: 06/011541/ADV | Validated: Tue 23 May 2006 | Status: Decided

Display of 2no. non illuminated fascia signs and 2no. non-illuminated hanging signs

Dollond And Aitchison, 22 Parliament Street, York, YO1 8RS

Ref. No: 09/02185/LBC | Validated: Wed 02 December 2009 | Status: Decided

Display of 2no. non illuminated fascia signs and 2no. non-illuminated hanging signs

Dollond And Aitchison, 22 Parliament Street, York, YO1 8RS

Ref. No: 09/02183/ADV | Validated: Wed 02 December 2009 | Status: Decided

Display of 2no. internally illuminated fascia signs and 2no. illuminated projecting signs

Boots Opticians 22 - 23 Parliament Street York YO1 8RS

Ref. No: 24/00257/ADV | Validated: Fri 23 February 2024 | Status: Consultation

APPENDIX B: SERVICE CORES

N.B DO NOT SCALE FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE. TEMPLATES MAY BE REQUIRED FOR JOINERY ITEMS AND ARE CONTRACTORS RESPONSIBILITY TEMPLATES MAY BE REQUIRED FOR JOINERY ITEMS AND ARE CONTRACTORS RESPONSIBILITY Contractor(s) and sub contractors to notify client(s) of any measurement discrepancies. Contractor(s) and sub contractors to notify client(s) of any measurement discrepancies. Drawings supplied for design intent only, all fixings to be the responsibility of the contractor. Any alterations to this drawing to be agreed with client(s). Any alterations to this drawing to be agreed with client(s).



1 GA PLAN
Scale: 1:30



A	14/03/24	EA	First Issue
No.	Date	By	Revision Notes

KNOOPS

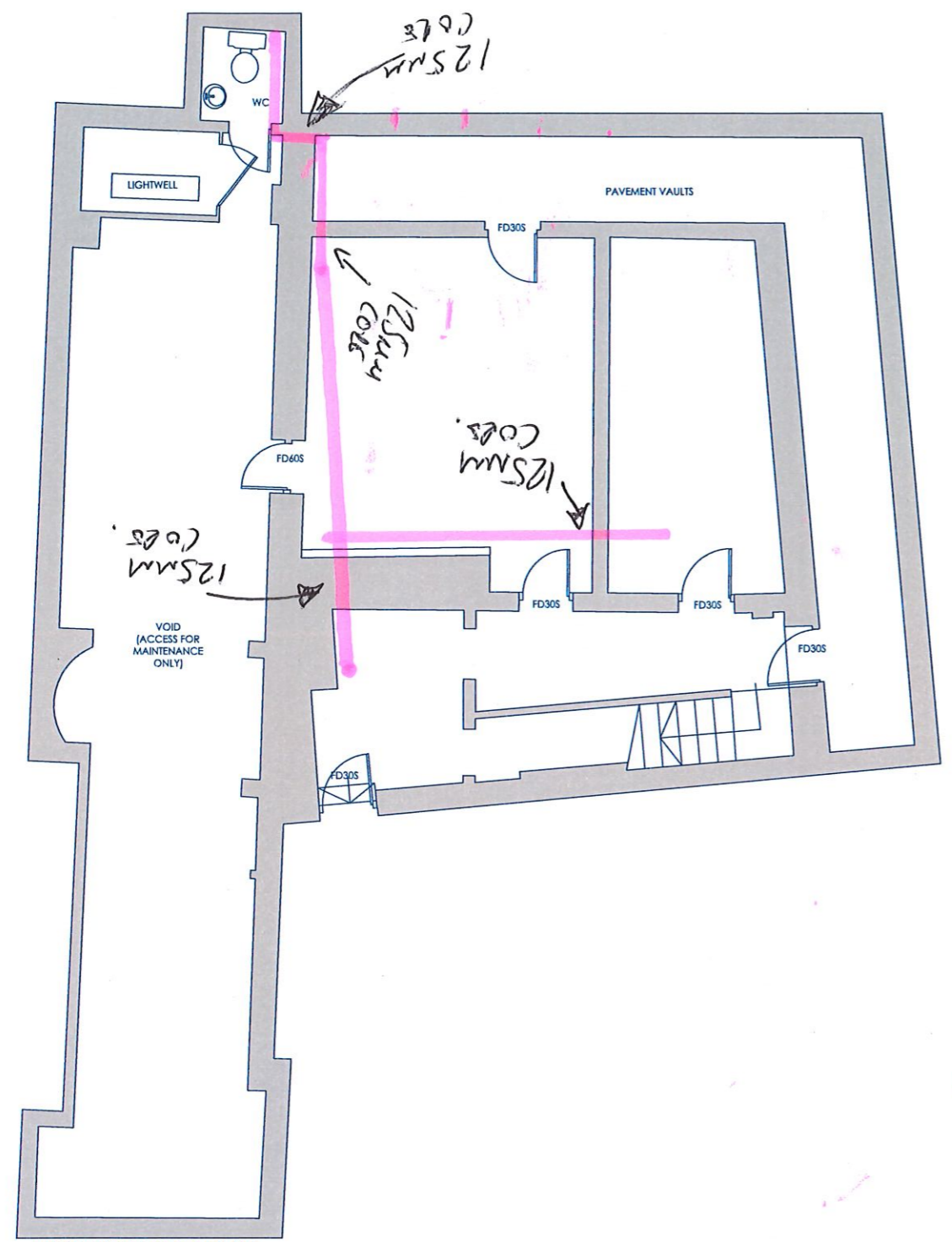
Expertly crafted chocolate drinks

KNOOPS
130 Brompton Rd, London SW3 1JD

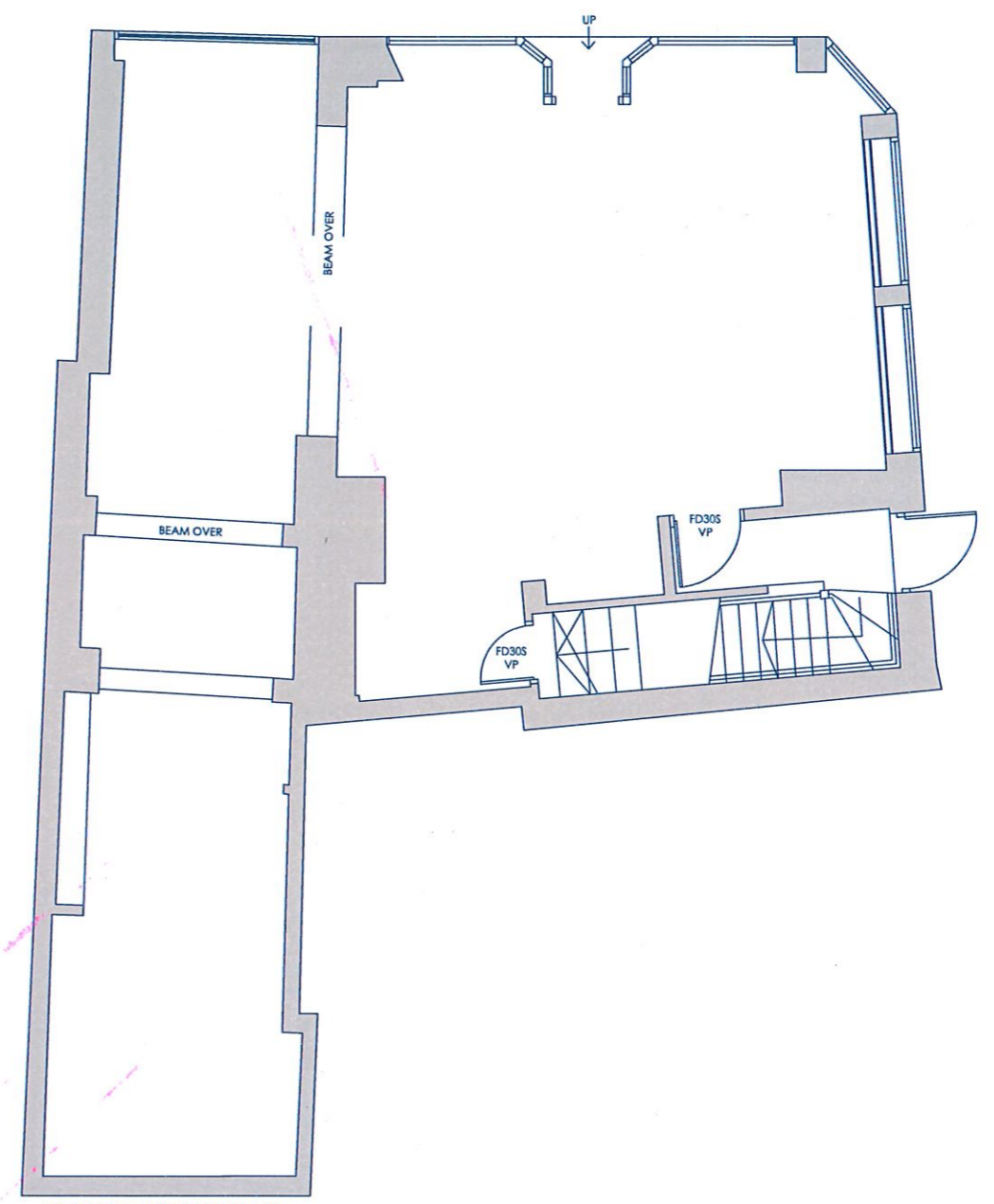
Project Title
YORK PLANNING

Sheet Title
General Arrangement Plan

Project Manager Tony McLaughlin	Project ID 00000
Drawn By EA	Scale 1:30 at A1
Reviewed By TM	Sheet No. 02
Date 14/3/2024	of 6
CAD File Name YORK.vwx	



BASEMENT FLOOR PLAN



GROUND FLOOR PLAN

KNOOPS
 Expertly crafted
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Site Address
 22-23 PARLIAMENT ST
 YORK
 YO1 8RS

Drawing Name
 EXISTING BASEMENT &
 GROUND FLOOR PLAN

Drawn Date 27-11-2023 | Drawn By SUE JONES

Scale(s) 1:30 @ A0 NTS @ A3

Drawing Number 10069_EXTG_L001

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