

HERITAGE STATEMENT

Refurbishment Works – 46,48 & 50 Stonegate, York

May 2024

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Appendix A – Official List Entry

Please note – this report is to be read in conjunction with the proposed drawings.

1. Introduction

The first and second floors of 46, 48 and 50 Stonegate currently stand empty since Betty's ceased trading here in Spring 2021. Although the buildings are still owned by Bettys & Taylors the shop premises of the ground floor of 46 Stonegate is now occupied by local business Harrogate Tipple. The House of Trembling madness occupies the ground floor of 48 – 50 and the rear half of the first floor. Local business, The Little Ale House, is looking to set up a craft ale house across the vacant areas of the first and second floors of 46, 48 and 50 Stonegate, York.

The Little Ale House in Harrogate was created by husband and wife team, Richard and Daniel Park in 2016. The aim of the business was to create a traditional pub in the heart of Harrogate which celebrates local ales and provides a cosy environment for people to meet and socialise without the distractions of TVs or background music.

The owners of The Little Ale House business are not only passionate about traditional pubs but also historic buildings, therefore the opportunity to open a pub in 46, 48 and 50 Stonegate was a natural pairing.

Given the significance of the building, Grade II* listed, careful consideration has been given to planning of the pub so that minimal alterations are required to the historic fabric. Services will be installed in areas previously modernized when the building was used as a café by Betty's & Taylors.

The use of these spaces as a bar also presents the opportunity to remove detracting features and therefore enhance the character of the historic building. The front rooms of the first and second floor of 46, 48 and 50 Stonegate will form the bar areas and provide local residents with the opportunity to enjoy and appreciate these spaces. The service areas will be located to the rear of 46 Stonegate and existing service runs will be utilised where possible.



Figure 1 The Little Ale House pub in Harrogate

2. Site Location, Designations and Significance

Buildings 46, 48 and 50 Stonegate are all grade II* listed and located within the Conservation Area of Yorks Central Historic Core. 46 Stonegate was originally one of a pair of houses consisting of a 15th century front range, refronted in the mid 18th century and raised in the mid 19th century. Number 46 was extended to the rear in the 18th and 20th centuries.

Shopfronts were inserted in the front range in the early 19th century, with further alterations in the mid-late 19th century.

48 – 50 Stonegate is a timber framed house dating from circa 1600. The building was altered in the 19th century, including the insertion of a shopfront in the early 19th century.

Located within area 10 identified in the York Conservation Area appraisal, one of Yorks most complete medieval streets. The presence of independent shops and bars along this street help to preserve its character and protect the area from becoming over commercialised.



Figure 2 Map showing location of 46 - 50 Stonegate

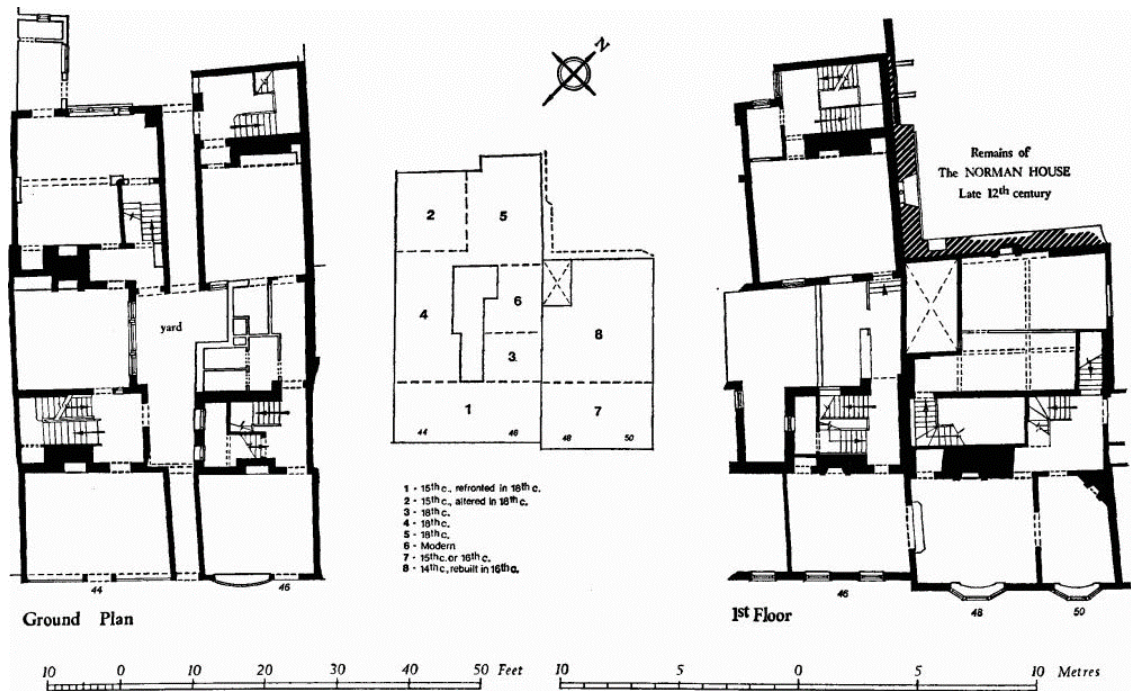


Figure 3 Phasing plan extract from www.British-History.ac.uk

Historic Features

No.46. Staircase from ground floor to attic has close string, turned balusters, square newels with attached half balusters and moulded ramped handrail. Some timber-framing visible on second floor, mainly the posts, tie-beams and wall plates. An investigation from a structural engineer discovered that the stud infill panels have previously been removed and replaced with masonry. The first floor front room has fireplace with moulded jambs and frieze, angle roundels and hob grate with fluted side pieces; reeded door architraves with angle roundels. Second floor front room has blocked C18 fireplace with cornice shelf; cupboard door of run-through panelling on H-hinges.

No. 48-50 timber-frame exposed on ground and second floors of No.50. First floor: front room to No.48 has plain fireplace with round-headed grate; front room to No.50 has corner fireplace with fluted jambs and frieze with angle rosettes, cornice shelf and hob grate. No.50 has staircase from first to second floor with slender turned balusters, turned newels and moulded ramped handrail.



Figure 7 Timber posts and braces visible on second floor



Figure 6 Existing doorway inserted in between 46 and 48 to connect the two buildings.



Figure 5 Blocked 18th century fireplace on the second floor of 46



Figure 4 Fireplace on the first floor front room of 46

3. Proposed Alterations and Impact Assessment

Please also refer to the accompanying drawings for more details on the proposed refurbishment works.

Ground Floor

- A - Corridor
 - Lift carpet, remove asphalt floor covering to reveal stone flagstones. Repair and repoint with lime mortar.
 - Remove modern shelving from beneath historic staircase.



Figure 8 Modern shelving beneath staircase

- B - Beer Store
 - Clad walls with wipeable plastic sheets.
 - Run 2 beer pythons from cellar to 1st floor proposed bar, in locations shown on drawings.
 - Install heat dump unit within the external yard for a keg line cooler, with pipes feeding through wall. Existing openings created by mechanical and electrical equipment to be used where possible. Refer to drawings for details of location and dimensions.
 - Install air conditioning unit on the external wall to maintain required internal air quality and temperature. Existing openings created by mechanical and electrical equipment to be used where possible. Refer to drawings for details of location and dimensions.

- C - Services – Beer pythons use existing service runs where possible to serve first floor bar.

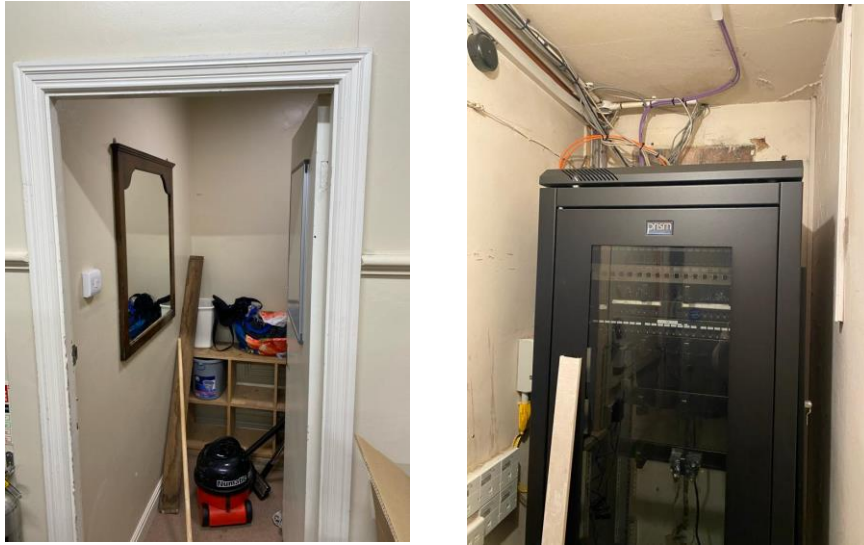


Figure 9 Ground floor store cupboard and landing IT room used for beer pythons

- D - Mens toilet – install new mens toilet in store area between ladies toilets and beer store.



Figure 10 Store area to form new mens WC

First Floor

- E - Bars 01,02 and 03 –
 - Remove modern plywood floor covering and replace with reclaimed tongue and groove timber floor. Floor boards to have natural oiled finished applied.



Figure 11 Chipboard and pine boards beneath carpet on first floor

- Remove modern suspended ceilings to expose joists in the first floor front rooms of 46, 48 and 50.
- Apply timber paneling to walls in areas shown on drawings. Refer to drawings for paneling design.
- Install a free standing bar and back bar within the first floor of 46 stonegate.
- Back bar to be offset from front elevation wall to avoid reeded window architrave.



Figure 12 Reeded window architrave on first floor of 46

- Remove hearth in bar, historic fire surround to be retained.



Figure 13 Fire place on first floor of 46

- Remove modern shelving in alcoves to left of fireplace.
- F - Tasting Room
 - Install glazed partition to form tasting room.
 - Remove internal partition to connect store to tasting room.



Figure 14 Existing kitchen on first floor, to be converted into tasting room

- G - Prep Room – reinstate timber stud partition wall and fit door to existing opening.



Figure 15 Existing prep kitchen on first floor, infill opening

Second Floor

- H - Remove modern plywood floor covering and replace with reclaimed tongue and groove timber floor. Floor boards to have natural oiled finish applied.
- I - Remove infill panels to partition and expose timber studs.



Figure 16 Partition dividing the room on the second floor of 48

- J - Reinststate historic doorway between proposed bar 5 and 6.
- K - Reinststate existing fire place and install gas fire in proposed bar 7 and bar 5.



Figure 17 Blocked up fireplace on the second floor of 46 and 50.

- L - Apply timber paneling to walls in areas shown on drawings. Refer to drawings for paneling design.
- M - Expose timber posts and braces to wall between 46 and 48 Stonegate and remove infill panels. Following a structural engineers report it is understood that the original wattle and daub infill panels have been removed and replaced with masonry. Once the wallpaper has been stripped the make up of the wall can be fully understood.

General Refurbishment Works

Beams

- N - Remove modern layers of paint to all beams using a gentle non chemical system such as Soda blasting and low pressure chemical free blasting. Such methods are a non-harmful processes to clean and strip oak & wooden beams and timbers.



Figure 18 Timber posts and braces visible on the second floor between 46 and 48

Walls

- O - Walls throughout
 - Remove modern woodchip wallpaper.
 - Repair / reskim any damaged plaster with lime plaster.

Impact Assessment

The following section is intended to assess the impact of the proposed alterations to the historic building. This assessment is based on the observations made while on site and a review of the design proposals. The level of impact will take into account the significance of the heritage asset, in order to weigh this against the level of change and conclude with a level of impact. The impact will be assessed based on the following criteria:

Magnitude of Impact	Definition
Major Beneficial	The proposals considerably enhance the heritage asset to appreciate its significance values.
Medium Beneficial	The proposals enhance to a clearly discernible extent the heritage asset or the ability to appreciate its significance values.
Minor Beneficial	The proposals enhance to a minor extent the heritage asset of the ability to appreciate its significance values.
Neutral	The proposals do not affect the heritage asset or the ability to appreciate its significance values.
Minor Adverse	The proposals harm to a minor extent the heritage asset or the ability to appreciate its significance values.
Medium Adverse	The proposals harm to a clearly discernible extent the heritage asset or the ability to appreciate its significance values.
Major Adverse	The proposals severely harm the heritage values of the heritage asset or the ability to appreciate its significance values.

Proposal	Discussion	Impact
A	The removal of the modern carpet and asphalt covering to reveal the historic York flagstones will enhance the character of the space. If the flagstone are in poor condition they will be repaired and restored. Removal of modern shelving units will also enhance the character of the space.	Minor Beneficial
B	This space has most recently been used as a store room for Bettys. There are no historic features within this space so the use as a beer store has neutral impact on the space. Existing service runs will be used where possible and any new runs will be surface mounted within this space.	Neutral
C	The route for the beer pythons from the beer store to the bar has been carefully considered to minimize potential harm to the building. The route uses existing service runs where possible however the python will need a small hole created in the back wall of the ladies toilets and at the back of the cupboard in the first floor room of 46.	Minor Adverse

D	The installation of a new gents toilet in the existing store area will have neutral impact on the building. The store room is next to the existing ladies toilet so can connect into existing hot and cold water supplies and drainage for waste. The space is already vented with a metal grill so this can be replaced with a mechanical vent, using the existing opening on the external wall.	Neutral
E	Replacing the modern carpet with reclaimed timber floor boards will enhance the character of the space.	Minor Beneficial
	Remove modern suspended ceilings to reveal joists, to enhance character of space. The timber paneling applied to the walls can be removed in future. The bar will be a free standing piece of furniture, designed to be in keeping with the space but can be removed in future without harm to the building.	Neutral
F	This space was previously the kitchen for the Bettys café. There are no historic features within this space, and it is possibly the room which has had the most modern interventions. The proposal is to remove the modern stainless steel wall coverings, the vinyl floor covering and all the cooking equipment. The space will then be subdivide by a glazed partition and will form a tasting room. The removal of modern detracting commercial kitchen equipment and conversion of the space into a tasting room will enhance the character of the space.	Minor Beneficial
	The removal of the stud partition between the store and tasting room has minimal impact on the historic fabric as it could be reinstated in the future.	Minor Adverse
G	Reinstating the wall in this location has neutral impact on the historic significance of the building.	Neutral
H	Replacing the modern carpet with reclaimed timber floor boards will enhance the character of the space.	Minor Beneficial
I	These space have most recently been used as offices and store rooms for Bettys café. The partition detracts from the buildings character by subdividing the space up. The removal of the infill panels and leaving the timber studs in place will improve the connection between the spaces on the second floor.	Minor Beneficial
J	To enhance the connection between bars 5 and 6 the proposal includes reinstating the blocked up doorway.	Neutral
K	Unblocking the fireplaces, installing a gas fire and making the fireplace a feature of the room once	Minor Beneficial

	again enhances the significance of the historic spaces.	
L	Apply timber paneling to walls in areas shown on drawings. Refer to drawings for paneling design.	
M	If any historic wattle and daub is found all efforts will be made to retain it. If all infill panels are found to be modern masonry, they will be removed and the timber posts and braces will be retained as a feature within the space.	Minor Adverse
N	Removing the layers of modern paints to reveal the natural timber will enhance the character of the space and may reveal historic carpenters marks or carvings.	Minor Beneficial
O	Removing the modern woodchip paper will reveal the condition of the plaster beneath. Repairs can then be made to any damaged or missing lime plaster.	Minor Beneficial

4. Conclusion

Overall the proposals seek to enhance the key spaces by sympathetically refurbishing the rooms by retaining and celebrating historic features, removing modern detracting elements and reinstating appropriate materials such as timber floors.



Figure 19 Interior of The Little Ale House in Harrogate

5. Bibliography

Online Sources

<https://yorkcivictrust.co.uk/heritage/civic-trust-plaques/stonegate/#:~:text=Besides%20many%20medieval%20timber%2Dframed,named%20the%20%E2%80%9CNorman%20House%E2%80%9D.> (accessed 05/01)

www.british-history.ac.uk/rchme/york/vol5/pp220-235 (accessed 05/01)

6. Appendix – A Official List Entry

HISTORIC ENGLAND RECORD – 44 – 46 Stonegate

Official list entry

Heritage Category: Listed Building
Grade: II*
List Entry Number: 1256488
Date first listed: 14-Jun-1954
List Entry Name: 44 AND 46, STONEGATE
Statutory Address 1: 44 AND 46, STONEGATE

Location

Statutory Address: 44 AND 46, STONEGATE
The building or site itself may lie within the boundary of more than one authority.
District: York (Unitary Authority)
Parish: Non Civil Parish
National Grid Reference: SE 60256 52067

Details

YORK

SE6052SW STONEGATE 1112-1/27/1040 (North West side) 14/06/54 Nos.44 AND 46

GV II*

Formerly known as: Nos.38 AND 39 STONEGATE. Houses, now shops and tea rooms. C15 front range, refronted mid C18 and raised mid C19; C15 range at rear of No.44, linked to front range in mid C18, remodelled in early C19; C18 and C20 extensions to No.46. Early C19 shopfronts, altered later in C19. MATERIALS: front and rear ranges timber-framed, fronted in orange-grey brick in Flemish bond, raised in similar brick in random bond; orange brick quoins and window arches, timber cornice and timber shopfront with cast-iron glazing bars: rear range encased in orange-red brick in random bond: rear block to No.46 of red brick in Flemish bond. Pantile roofs with brick stacks and timber modillioned guttering. EXTERIOR: 3-storey 5-bay front. Both shopfronts framed in sunk-panelled pilasters with carved impostes beneath plain frieze and enriched cornice on elongated leaf consoles. No.44 has glazed flush-panel door with overlight between 3-light plate glass windows with roller blinds. No.46 has shallow small-pane bow window beneath segmental fanlight with moulded glazing bars: shop door to right is glazed, beneath oval fanlight; passage door to left is 6-panelled and has blind semicircular fanlight: both fanlights have beaded radiating glazing bars. Upper floor windows are 12-pane sashes except for two 4-pane sashes at right end of second floor: all have narrow sills and flat arches of gauged brick. 4-course raised brick band to second floor. Timber wall plate visible above second floor windows. Central passage leads to small court enclosed by rear wings to both shops. No.44 has 6-panel door beneath divided overlight to left of tripartite window with 16-pane centre sash; on first floor are 12-pane sashes, some with original glazing bars, some with segmental brick arches: one 16-pane sash on second floor. 3-course raised brick bands to first and second floors. Rear block to No.46 has through passage to right of 6-panel door, both in round-arched openings: C20 windows: 3- and 4-course raised brick bands. Rear: No.44 has 2-storey 2-window front beneath plain parapet, to right of 3-storey projecting gabled wing to No.46. 2-storey part has window of tripled C19 sashes beneath wide segmental 1-course brick arch to right of passage arch: on first floor is

altered Venetian window, with 16-pane sash in round-headed centre light. INTERIOR: of No.44. Staircase from ground to second floor has close strings, slender turned balusters, bulbous newel and heavy ramped handrail: matching moulded dado rail. On both

half landings are C17 panelled doors on L-hinges. Ground floor: middle room has fireplace with fluted jambs, paterae, frieze and round-headed grate. First floor: front room has moulded beams and wall plates; fireplace enriched with composition ornament. Middle room has dado of re-used run-through panelling. Rear room has fireplace enriched with composition ornament: door, doorcase, cupboard door and architrave carved with leaf and rosette motifs. No.46. Staircase from ground floor to attic has close string, turned balusters, square newels with attached half balusters and moulded ramped handrail. Some timber-framing visible on second floor. First floor front room has fireplace with moulded jambs and frieze, angle roundels and hob grate with fluted side pieces; reeded door architraves with angle roundels. Second floor front room has blocked C18 fireplace with cornice shelf; cupboard door of run-through panelling on H-hinges. (City of York: RCHME: The Central Area: HMSO: 1981-: 223-4).

Listing NGR: SE6025652067

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: **464839**

Legacy System: **LBS**

Sources

Books and journals

An Inventory of the City of York V Central, (1981), 223-224

HISTORIC ENGLAND RECORD – 48 – 50 Stonegate

Official list entry

Heritage Category: Listed Building
Grade: II*
List Entry Number: 1256490
Date first listed: 14-Jun-1954
List Entry Name: 48 AND 50, STONEGATE
Statutory Address 1: 48 AND 50, STONEGATE

Location

Statutory Address: 48 AND 50, STONEGATE
The building or site itself may lie within the boundary of more than one authority.
District: York (Unitary Authority)
Parish: Non Civil Parish
National Grid Reference: SE 60268 52073

Details

YORK

SE6052SW STONEGATE 1112-1/27/1042 (North West side) 14/06/54 Nos.48 AND 50

GV II*

Formerly known as: Nos.36 AND 37 STONEGATE. House, now shops and tea rooms. c1600 with C19 alterations; early C19 shopfronts with altered glazing. Timber-framed, encased in render, colour-washed at front; timber shopfront and doorcases with cast-iron glazing bars; moulded timber eaves cornice; pantile roof with brick stacks. EXTERIOR: 3-storey 2-window front, both upper floors jettied. Shopfronts incorporate doorcases framed in sunk-panel pilasters with moulded impostes and acanthus consoles at the head beneath moulded cornice with lion mask stops. No.48 has plate glass shop window to left of recessed glazed and flush panelled door with overlight. In centre, paired doorcases have disused 6-panel door, and glazed and flush-panel door to No.50, both with fanlights with beaded radial glazing bars: shop window to right is plate glass. Both shop windows retain roller blinds and sloped timber sills. First floor windows are canted oriels with tripled 1-pane sashes; on second floor, squat 6-pane sashes. Right return opens on to passageway with door of 6 raised and fielded panels and Yorkshire sash windows, of three 8-pane lights on ground floor, two 9-pane lights on first floor.

INTERIOR: timber-frame exposed on ground and second floors of No.50. First floor: front room to No.48 has plain fireplace with round-headed grate; front room to No.50 has corner fireplace with fluted jambs and frieze with angle rosettes, cornice shelf and hob grate. No.50 has staircase from first to second floor with slender turned balusters, turned newels and moulded ramped handrail. C18 door of 2 fielded panels in attic of No.50. (City of York: RCHME: The Central Area: HMSO: 1981-: 224).

Listing NGR: SE6026852073

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 464841

Legacy System: LBS

Sources

Books and journals

An Inventory of the City of York V Central, (1981), 224